

**1. DESIGN CRITERIA:**

- A. DESIGNED USING INTERNATIONAL BUILDING CODE, 2012 EDITION
- B. ROOF LIVE LOAD/SNOW LOAD = 150 PSF
- C. ROOF DEAD LOAD = 15 PSF
- D. FLOOR LIVE LOAD = 40 PSF
- E. FLOOR DEAD LOAD = 12 PSF
- F. WIND SPEED = 90 MPH
- G. EXPOSURE TYPE = 'C'
- H. SEISMIC PARAMETERS, Ss = 0.9, Si = 0.1
- I. MINIMUM FROST DEPTH = 28 INCHES

**2. FOUNDATIONS & SLAB ON GRADE:**

- A. ALL FOOTING AND FOUNDATION DESIGNS ARE BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF BEARING ON COMPETENT NATIVE SOIL (CODE MINIMUM). IF THE SITE HAS A LOWER BEARING CAPACITY THAN ASSUMED THE FOUNDATION PLAN WILL NEED TO BE REDESIGNED. IF SOIL IS DISTURBED, COMPACT SOIL IN 6" LIFTS TO 95% MAXIMUM DRY DENSITY PER ASTM D960.
- B. MINIMUM FROST DEPTH FROM LOWEST ADJACENT FINISH GRADE TO BOTTOM OF FOOTING SHALL BE MAINTAINED FOR ALL EXTERIOR FOOTINGS.
- C. CONTRACTOR TO VERIFY LOCATIONS FOR STEP FOOTINGS AND FOUNDATION WALLS BASED ON SITE RELATED FINISHED GRADE. IF NECESSARY, FOOTING STEPS ARE TO BE A MAXIMUM OF (2) VERTICALLY TO (1) HORIZONTALLY.
- D. ALL SLABS SHALL HAVE REINFORCING PER PLANS & CONTROL JOINTS @ 10'-0" SPACING MAX.
- E. ALL STRUCTURAL FILL BELOW FOOTINGS SHALL EXTEND OUT PAST FOOTINGS AT A SLOPE OF 1 HORIZONTAL TO 2 VERTICAL TO COMPETENT SOILS.
- F. PROVIDE ADEQUATE DRAINAGE BEHIND ALL WALLS TO ALLEVIATE ANY STANDING WATER.
- G. ALL CONCRETE PAD & APRON LOCATIONS TO BE SECURED TO FOUNDATION WITH #4 DOWELS @ 24" O.C. EXTEND EXPOSED SIDES A MINIMUM OF 24" BELOW FINISHED GRADE.
- H. MINIMUM CONCRETE SLAB DEPTH IS 4".

**3. CONCRETE:**

- A. THE MINIMUM COMPRESSIVE STRENGTHS FOR CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS (DESIGNED USING 2,500 PSI):
  - 1. ALL FOOTINGS, FOUNDATIONS, AND STEM WALLS f'c = 3,000 PSI
  - 2. SLABS ON GRADE f'c = 3,500 PSI
- B. MINIMUM CLEAR PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:
  - 1. PLACED DIRECTLY AGAINST EARTH 3"
  - 2. FORMED SURFACES #5 BARS OR SMALLER 1-1/2"
  - 3. STRUCTURAL SLABS 1-1/2"
- C. SAWN CONTROL & CONSTRUCTION JOINTS SHALL BE MADE AS SOON AS POSSIBLE WITHOUT DAMAGE TO THE SURFACE. FILLING OF SAWN JOINTS WHERE REQUIRED SHALL BE DELAYED AS LONG AS POSSIBLE TO ALLOW MAXIMUM SHRINKAGE TO OCCUR IN SLABS.
- D. ALL EMBEDDED ANCHOR BOLTS SHALL BE A36 OR A307 STEEL W/ 7" MIN. EMBEDMENT. ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE ENDS, WITH A MIN. OF TWO PER WALL AND NO CLOSER THAN 6" FROM CONCRETE WALL CORNERS. REFER TO LOG MANUFACTURERS SPECIFIC BOLT PLAN FOR LOG WALL ANCHORS. DO NOT POUR FOUNDATION WITH OUT LOG MANUFACTURERS BOLT PLAN.
- E. WET SETTING OF REINFORCING BARS IN FOOTINGS AND WALLS IS NOT ALLOWED.
- F. BLOCK-OUT ALL STEM WALLS @ ENTRIES AS REQUIRED.
- G. CONCRETE FORM WORK TO BE OF ADEQUATE STRENGTH AND BRACED TO PREVENT DEFORMATION.
- H. PROTECT ALL CONCRETE FROM FREEZING.
- I. ALL LOWER LEVEL AND RETAINING WALLS WHICH HAVE FILL HIGHER THAN AN INTERIOR FLOOR LEVEL SHALL HAVE AN APPROVED WATERPROOFING MEMBRANE APPLIED.
- J. PROVIDE ADEQUATE TEMPORARY BRACING OF CONCRETE AND/OR CMU RETAINING WALLS DURING BACKFILL PRIOR TO INSTALLATION OF MAIN FLOOR FRAMING AND BASEMENT CONCRETE SLAB ON GRADES. WALL DESIGNS ARE BASED ON TOP OF WALL RESTRAINED BY FINISHED FLOOR SYSTEM AND RESISTING SLIDING BY HAVING BASEMENT CONCRETE SLAB ON GRADE FLOOR INSTALLED.
- K. IT IS RECOMMENDED THAT ALL GRADING, EXCAVATION, AND INSTALLATION OF FOUNDATIONS BE PERFORMED UNDER THE INSPECTION AND TESTING OF A QUALIFIED GEOTECHNICAL CONSULTANT DURING THE CRITICAL STAGES OF CONSTRUCTION.
- L. STAIN & TEXTURE OF EXPOSED CONCRETE SURFACES PER OWNER'S DIRECTION.

**4. REINFORCING STEEL:**

- A. ASTM A615, GRADE 40. BARS TO BE WELDED SHALL BE ASTM A706, GRADE 40.
- B. MINIMUM LENGTH OF LAPPED SPLICES SHALL BE 48 TIMES BAR DIAMETER UNLESS NOTED OTHERWISE. STAGGER SPLICES IN WALLS SO THAT NO TWO ADJACENT BARS ARE SPLICED IN THE SAME LOCATION.
- C. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, Fy = 75,000 PSI.
- D. REINFORCING SHALL BE CONTINUOUS THROUGH ALL COLD JOINTS.
- E. PROVIDE CORNER BARS W/ 18" LEGS AT CORNERS AND INTERSECTING WALLS AND FOOTINGS, SIZE AND PLACEMENT TO MATCH HORIZONTAL REINFORCEMENT.
- F. PROVIDE #4 HORIZONTALS AT TOP OF WALL, CONT. IN FOOTINGS, AND ABOVE ALL OPENINGS. PROVIDE #4 HORIZONTALS AT ALL INTERSECTING FLOORS AND ROOF LEVELS, BOTTOM OF ALL WINDOWS AND AT 10'-0" O.C. MAXIMUM OR PER PLANS.
- G. PROVIDE #4 VERTICALS AT 24" O.C. W/ STANDARD HOOK EXTENDING INTO FOOTING AT EACH SIDE OF WALL OPENINGS AND AT EACH END OF WALLS.
- H. PROVIDE FOUNDATION HOLDDOWNS AT ALL SHEAR WALL LOCATIONS PER PLAN, IF APPLICABLE.

**5. WOOD FRAMING:**

- A. STRUCTURAL LUMBER SHALL BE DOUGLAS FIR-LARCH (DF-L) #2 OR BETTER.
- B. WOOD INSTALLED WITHIN 1" OF CONCRETE OR MASONRY SHALL BE REDWOOD OR PRESSURE TREATED.
- C. PROVIDE WET USE ADHESIVES.
- D. MAXIMUM LUMBER MOISTURE CONTENTS SHALL BE 15%.
- E. ALL FRAMING DETAILS SHALL BE IN ACCORDANCE WITH THE ADOPTED CODE.
- F. PROVIDE SOLID BLOCKING BELOW ALL BEARING WALLS AND POSTS. PROVIDE BLOCKING @ 24" O.C. @ JOISTS PARALLEL WITH BEARING WALLS ABOVE.
- G. MINIMUM HEADER AT BEARING WALL TO BE 4X8 WITH 4X6 BEARING STUD PLUS KING STUD EACH SIDE. HEADERS WITH LARGER LOADING WILL BE CALLED OUT IN PLANS.
- H. BLOCK AND NAIL ALL HORIZONTAL PANEL EDGES AT SHEAR WALLS.
  - 1. ROOF SHEATHING: 1 9/32" CDX MIN. (32/16) SPAN RATING 10D @ 2 1/2" O.C. EDGE AND 12" O.C. FIELD U.N.O.
  - 2. FLOOR SHEATHING: 3/4" CDX MIN. (48/24) SPAN RATING 10D @ 6" O.C. EDGE AND 12" O.C. FIELD U.N.O.
  - 3. EXT. WALL SHEATHING: 15/32" CDX MIN. (24/0) SPAN RATING ALL SPAN RATINGS TO MEET LOCAL CODES.
- I. ORIENTED STRAND BOARD (OSB) WITH THE SAME SPAN RATING MAY BE SUBSTITUTED.
- J. ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C. AND AT INTERIOR NON-LOAD BEARING PARTITIONS TO BE 2X4 @ 16" O.C. STUD WALLS (U.N.O.)
- K. 2X DIMENSIONAL STUDS ARE TO BE STANDARD (DF-L) #2 OR BETTER WESTERN WHITE WOODS (WWW)
- L. PROVIDE STEEL STRAPS AT PIPES IN STUD WALLS AS REQUIRED BY THE ADOPTED CODE.

- M. OVER-FRAMING SHALL BE DONE SUCH THAT VERTICAL LOADS ARE TRANSFERRED TO MAIN STRUCTURE BELOW BY DIRECT BEARING AT SPACING NOT TO EXCEED 24" O.C.
- N. METAL HANGERS AND CONNECTIONS ARE 'SIMPSON' AND SHALL BE INSTALLED PER 'SIMPSON' RECOMMENDATIONS.
- O. ENGINEERED 1" JOISTS TO BE DESIGNED, CERTIFIED, ERECTED, INSTALLED, AND BRACED PER MANUFACTURER'S SPECS. ALL REFERENCES ON PLANS ARE FOR TRUS-JOIST, A WEYERHAEUSER BUSINESS PRODUCT. USE THESE PRODUCTS OR AN EQUIVALENT APPROVED MANUFACTURER.
- P. SHEATHING SHALL BE APA RATED EXPOSURE 1
- Q. STAGGER SHEATHING END JOINTS 4'-0"
- R. PROVIDE 1/4" SPACE AT ALL PANEL EDGES FOR EXPANSION.
- S. FRAME INTERIOR BEARING WALLS SHORT TO ACCOUNT FOR LOG SETTLING.
- T. FRAME INTERIOR POSTS SHORT TO ACCOUNT FOR LOG SETTLING. USE REMOVABLE SHIMS OR SETTLING JACK AS NECESSARY.
- U. ALL WINDOW SIZES ARE NOMINAL. VERIFY ACTUAL LOG OPENINGS WITH LOG # WINDOW MANUFACTURERS.
- V. ALL MICROLAM LVL'S SHALL HAVE THE MINIMUM SECTION PROPERTIES OF FB = 2600 PSI, FV = 285 PSI, E = 1,900,000 PSI.
- W. ALL ROOF OPENINGS GREATER THAN 12'X12' SHALL BE FRAMED IN OPENINGS.
- X. GLUE-LAM BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4 FOR SIMPLY SUPPORTED AND 24F-V8 FOR CANTILEVERED BEAMS, FB = 2400 PSI, FV = 165 PSI, E = 1,600,000 PSI. PROVIDE WET USE GLUE ON ALL EXTERIOR LOCATIONS.

**6. STRUCTURAL STEEL:**

- A. BOLTS AND LAGS SHALL CONFORM TO ASTM A36 (U.N.O.)
- B. STEEL TUBES TO CONFORM TO ASTM500, GRADE B (Fy = 40KSI)
- C. PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING AGAINST WOOD.
- D. ALL WORK SHALL BE IN ACCORDANCE WITH THE 9TH EDITION, OR 1ST EDITION LRFD MANUAL OF AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- E. ALL WELDING SHALL BE PERFORMED PER AWS D1.1 WITH A MINIMUM WELD SIZE OF 3/16" AND WITH E70XX ELECTRODE.
- F. MACHINE BOLTS SHALL BE ASTM A325 (U.N.O.)
- G. PROVIDE LOCK WASHERS BETWEEN NUT AND CONNECTED STEEL.
- H. ALL STEEL, INCLUDING NUTS, BOLTS, AND WASHERS EXPOSED TO WEATHER, SHALL BE GALVANIZED.

**7. PRE-MANUFACTURED METAL PLATED TRUSSES:**

- A. PRE-MANUFACTURED TRUSS PROVIDER TO VERIFY ALL LOADING PATTERNS TO FOOTINGS BELOW.
- B. PRE-MANUFACTURED TRUSS PROVIDER TO PROVIDE SUPPORT @ TRUSSES FOR LOADING SHOWN ON ALL PLANS, SECTIONS AND DETAILS. VERIFY SECOND FLOOR LOADING AND SPECIAL CASE POINT LOADING FROM LOG AND FRAMED ROOF SYSTEMS.
- C. ALL PRE-MANUFACTURED ROOF TRUSSES SHALL BE DESIGNED FOR THE ROOF LOADS SHOWN AND ACCOUNT FOR ANY REQUIRED ADDITIONAL DRIFT, VALLEY, OR EAVE LOAD PER CODE. TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD (E.O.R.) FOR REVIEW AND COMPLIANCE.

**8. GENERAL STRUCTURAL NOTES:**

- A. CONTRACTOR TO VERIFY ALL OPENINGS, BUILDING DIMENSIONS, COLUMN LOCATIONS AND DIMENSIONS WITH OWNER AND LOG MANUFACTURER PRIOR TO POURING OF ANY CONCRETE FOUNDATIONS OR CONSTRUCTION.
- B. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THESE PLANS UNLESS SUCH CHANGES ARE AUTHORIZED IN WRITING TO THE ENGINEER OF RECORD.
- C. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE SHORING AND/OR TEMPORARY STRUCTURAL STABILITY FOR ALL PARTS OF THE STRUCTURE DURING CONSTRUCTION. THE STRUCTURE SHOWN ON THE DRAWINGS HAS BEEN DESIGNED FOR FINAL CONFIGURATION.
- D. NOTCHING AND/OR CUTTING OF ANY STRUCTURAL MEMBER IN THE FIELD IS PROHIBITED, UNLESS PRIOR CONSENT IS GIVEN BY THE ENGINEER OF RECORD.

**9. SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATIONS:**

- A. PER IBC SECTION 1702, WHEN SPECIFICALLY REQUIRED BY THE LOCAL JURISDICTION, A REPRESENTATIVE FROM THE ENGINEER OF RECORD'S OFFICE SHALL BE PRESENT TO PERFORM ON-SITE STRUCTURAL OBSERVATION VISITS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL SIGNIFICANT TIMES OF CONSTRUCTION WITH THE ENGINEER OF RECORDS OFFICE PRIOR TO THE DAY OF CONSTRUCTION AND/OR PLACEMENT (MINIMUM OF 7 DAYS). SIGNIFICANT TIMES OF CONSTRUCTION ARE AS FOLLOWS:
  - 1. PLACEMENT OF STRUCTURALLY RELATED REINFORCED CONCRETE FOUNDATIONS, INCLUDING REBAR.
  - 2. PLACEMENT OF PERIMETER LOAD BEARING WALLS, LOAD SUPPORTING BEAMS AND/OR HEADERS AND LATERAL RESISTING CONNECTION ELEMENTS.
  - 3. COMPLETION OF STRUCTURAL SYSTEMS AS REQUIRED AND/OR DEFINED BY THE LOCAL JURISDICTION.
- B. STRUCTURAL OBSERVATIONS DO NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE SPECIAL INSPECTIONS REQUIRED BY THE IBC SECTION 1701 OR OTHER SECTIONS OF THE CODE AS REQUIRED BY THE LOCAL BUILDING JURISDICTION.
- C. ALL SPECIAL INSPECTIONS SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE LATEST IBC AND THE LOCAL BUILDING JURISDICTION.
- D. ALL SPECIAL INSPECTIONS SHALL BE PERFORMED BY A QUALIFIED PERSON WHO SHALL SHOW COMPLIANCE TO THE SATISFACTION OF THE BUILDING OFFICIAL, OWNER, ARCHITECT AND ENGINEER OF RECORD FOR THE PARTICULAR OPERATION. ALL SPECIAL INSPECTION REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND ENGINEER OF RECORD WITH THE PROJECT INFORMATION AND ADDRESS.



LIVING SPACE	710	sq. ft.
GARAGE	969	sq. ft.
COVD PORCH/DECK	60	sq. ft.

**PROJECT NO.**  
20-026

**40' x 42' SHOP FOR BROWN**  
**14132 PIONEER RD. VALLEY CO., ID**

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**DRAWN BY:** Steve Curtis  
**START DATE:** 5/18/2020  
**PRINT DATE:** 7/14/2020  
**SCALE:** SEE PLAN

**COVER SHEET**

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ASPEN RIDGE II - LOT #32 - SCALE: 1" = 75'-0"

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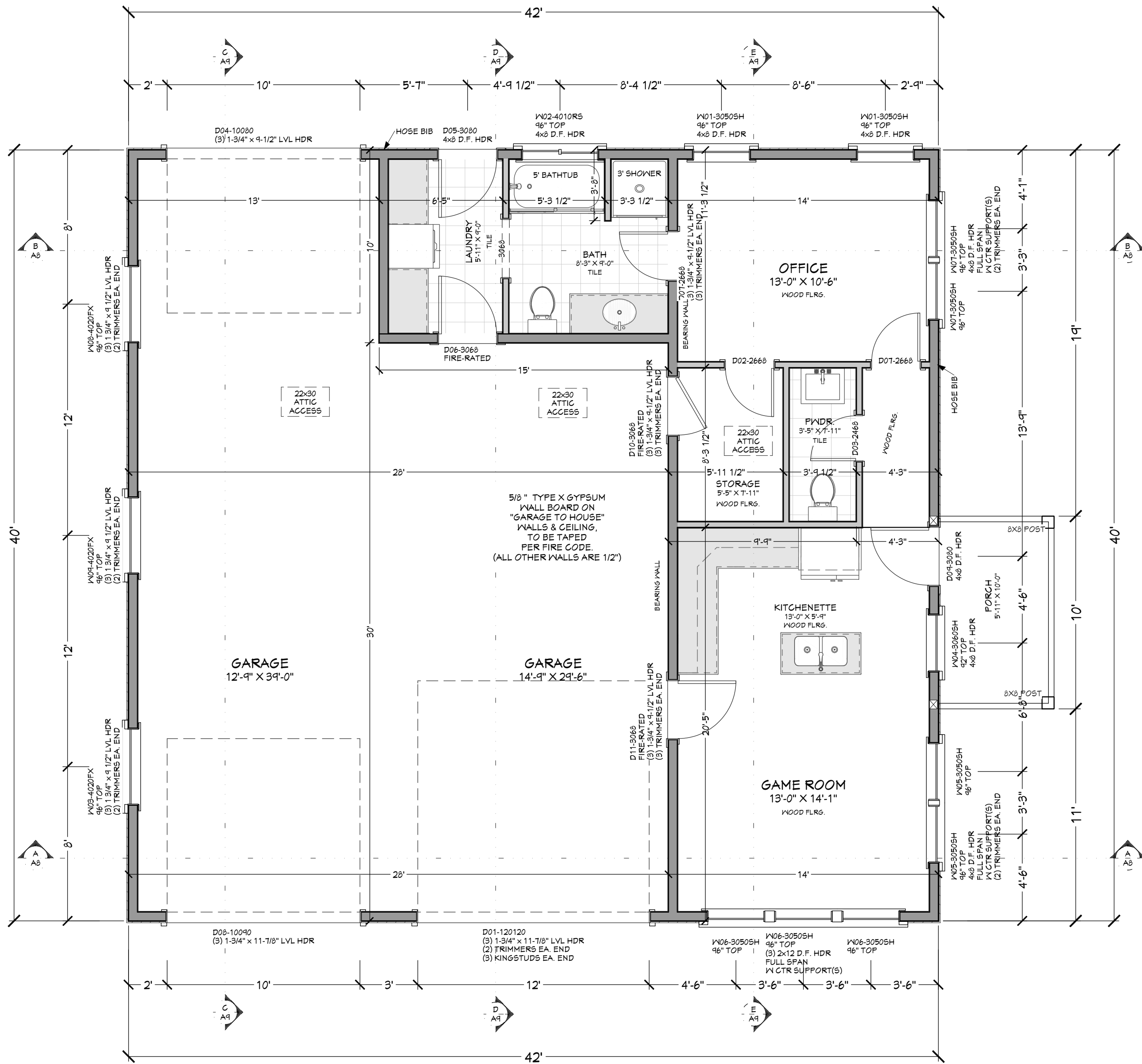
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SITE PLAN

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FLOOR PLAN - 1ST LEVEL 1/4" = 1'-0"

NUMBER	FLOOR	SIZE	WIDTH	HEIGHT	WINDOW SCHEDULE	DESCRIPTION	COMMENTS	DATE #	NUMBER
W02	1	40'0x24'	48"	12'	FIXED GLASS	RIGHT SLIDING		1	W02
W03	1	40'2x24'	48"	24"	FIXED GLASS			1	W03
W04	1	3'0x5'0	36"	72"	SINGLE HUNG			3	W04
W05	1	3'0x5'0	36"	160"	SINGLE HUNG			3	W05
W06	1	3'0x2'0	36"	40"	SINGLE HUNG			7	W06
W07	1	40'2x24'	48"	24"	FIXED GLASS			5	W07
W08	1	40'2x24'	48"	24"	FIXED GLASS			5	W08

NUMBER	FLOOR	SIZE	WIDTH	HEIGHT	DOOR SCHEDULE	DESCRIPTION	COMMENTS	DATE #	NUMBER
D01	1	12'0x12'0	124"	124"	GARAGE			2	D01
D02	1	24'6" x 11'	29"	80"	HINGED			2	D02
D03	1	10'0x9'0	120"	96"	GARAGE			2	D03
D04	1	3'0x5'0 R EX	36"	56"	HINGED			2	D04
D05	1	3'0x5'0 R EX	36"	56"	HINGED			2	D05
D06	1	3'0x5'0 R EX	36"	56"	HINGED			2	D06
D07	1	3'0x5'0 R EX	36"	56"	HINGED			2	D07
D08	1	3'0x5'0 R EX	36"	56"	HINGED			2	D08
D09	1	3'0x5'0 R EX	36"	56"	HINGED			2	D09
D10	1	3'0x5'0 R EX	36"	56"	HINGED			2	D10
D11	1	3'0x5'0 R EX	36"	56"	HINGED			2	D11

**MAIN LEVEL NOTES:**  
 ALL ANGLE 45° UNO  
 2x6 EXT. WALLS @ 16" O.C.  
 10'-1 1/8" PLATE HEIGHT UNO  
 ALL PARTITION DIMENSIONS ARE TO FACE OF STUD

LIVING SPACE 710 sq. ft.  
 GARAGE 969 sq. ft.  
 COVID PORCH/DECK 60 sq. ft.

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FLOOR PLAN - 1ST LEVEL

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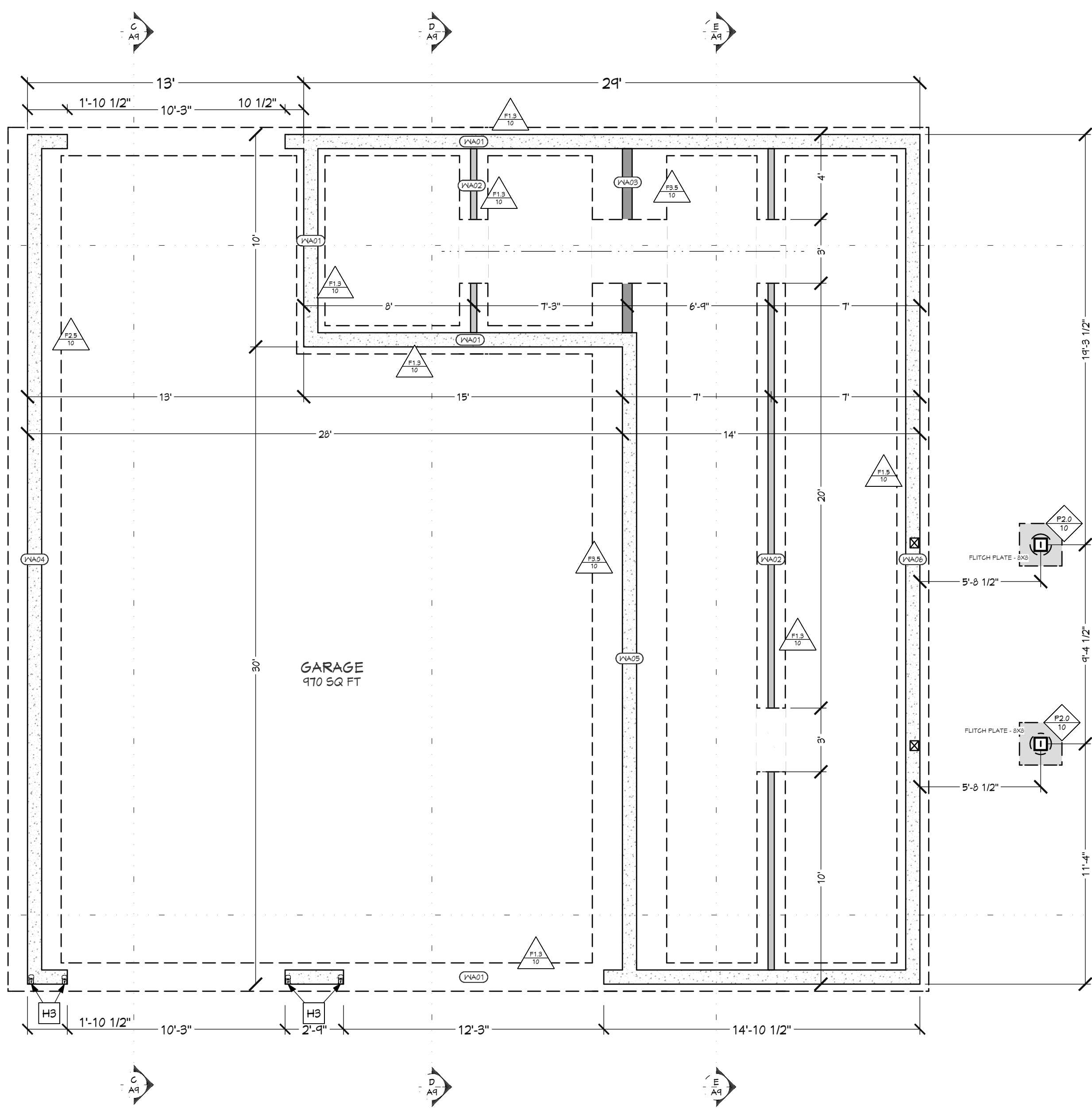
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**FOUNDATION PLAN 1/4" = 1'-0"**

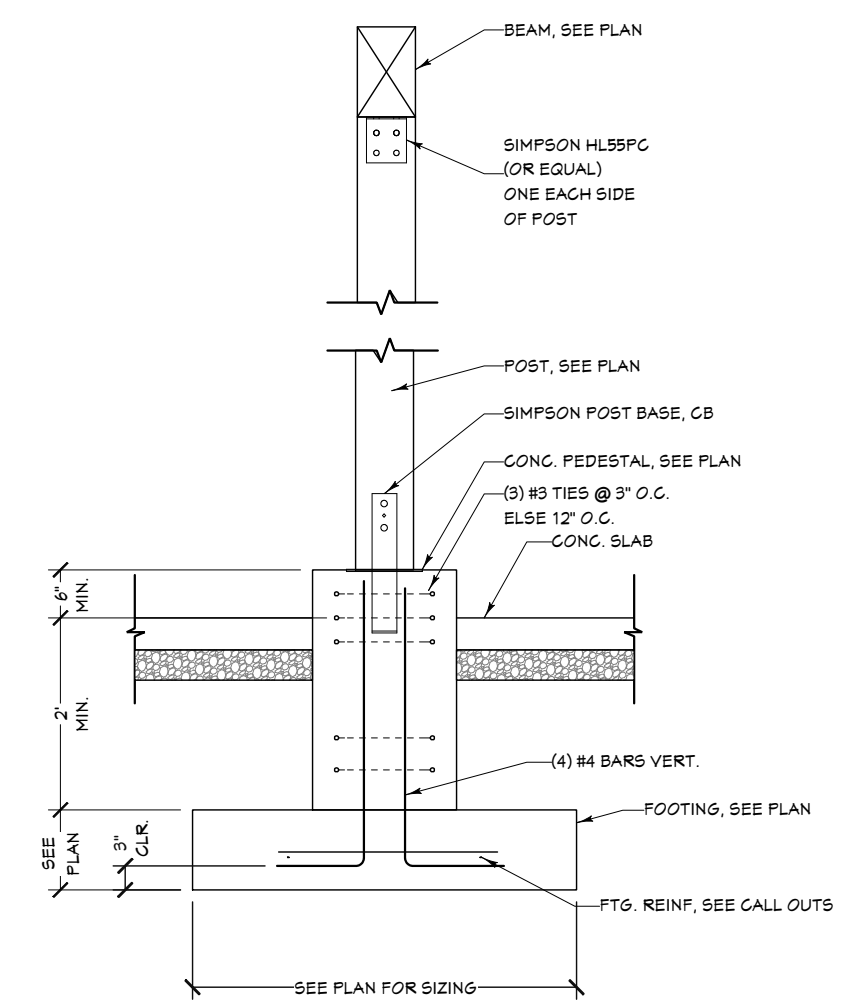
HOLD-DOWN SCHEDULE			
CALLOUT	STRAP TYPE	STRAP FASTENERS	# OF STUDS
H3	STHD14 (RJ WHERE APPLICABLE)	(30) 16D SINKERS	2

WALL SCHEDULE		
NUMBER	WALL TYPE	WALL FOOTING
WNA01	8" CONCRETE STEM WALL	16"
WNA02	FRAME-3 1/2	16"
WNA03	FRAME-5 1/2	42"
WNA04	8" CONCRETE STEM WALL	30"
WNA05	8" CONCRETE STEM WALL	42"
WNA06	8" CONCRETE STEM WALL	18"

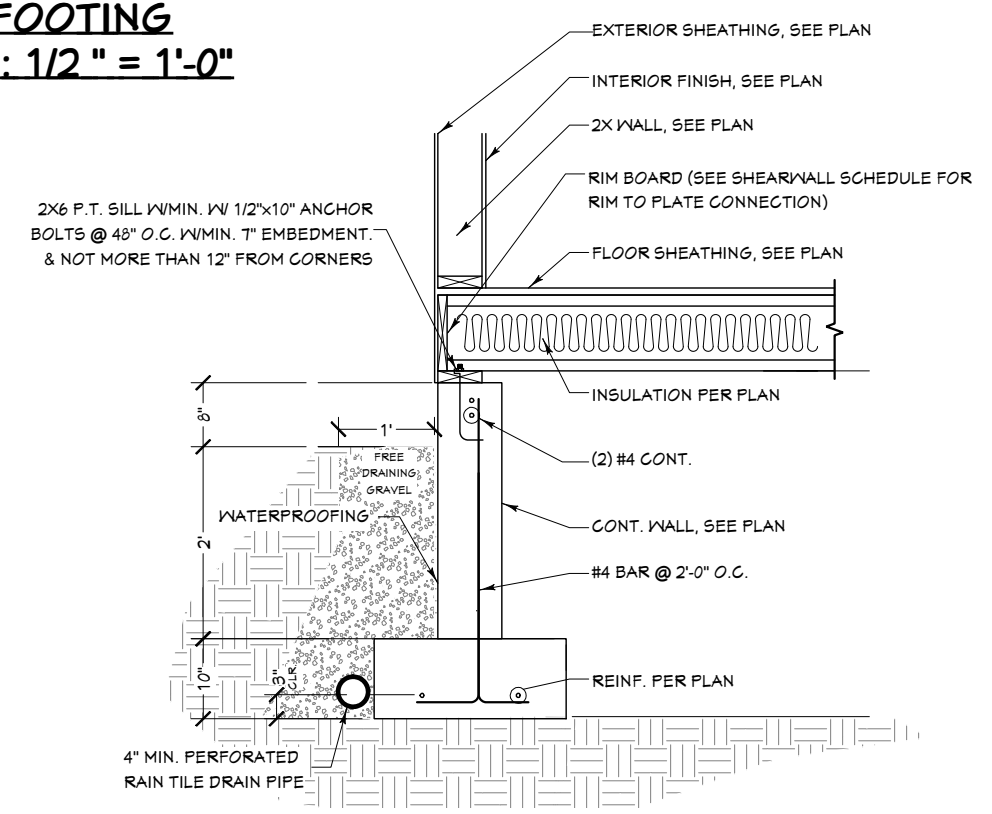
PAD FOOTING SCHEDULE		
CALLOUT	FOOTING SIZE	REINFORCEMENT
F2.3	24" x 24" x 10	(3) #4 REBAR E.W.

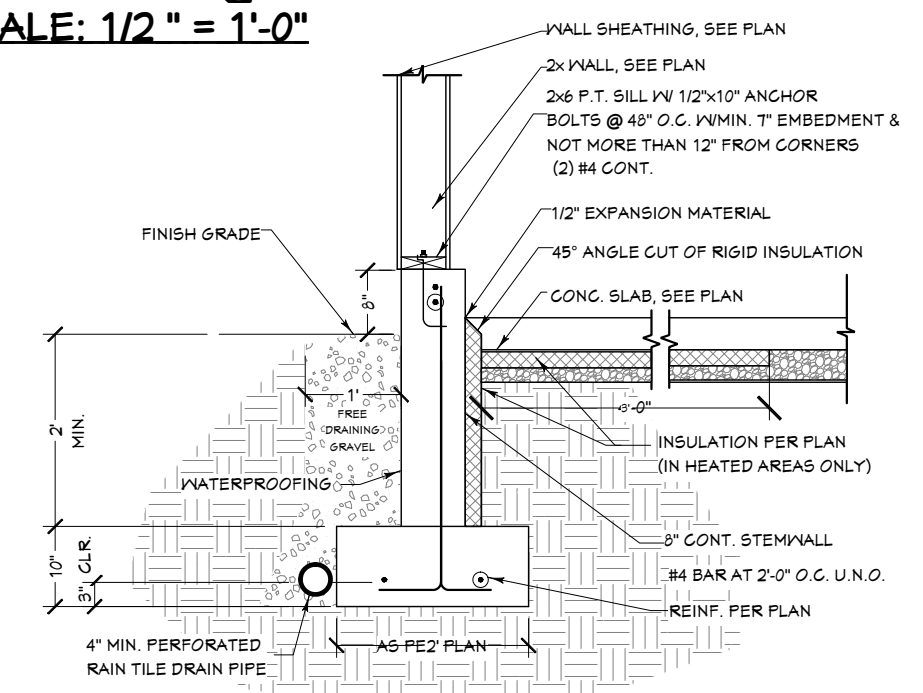
CONTINUOUS FOOTING SCHEDULE (ALL FOOTINGS "F1.3" UNO)		
CALLOUT	FOOTING SIZE	REINFORCEMENT
F1.3	16" x 10"	(2) #4 REBAR
F1.5	18" x 10"	(2) #4 REBAR
F2.3	30" x 10"	(3) #4 REBAR
F3.5	42" x 10"	(4) #4 REBAR



**POST FOOTING**  
**SCALE: 1/2" = 1'-0"**



**FOUNDATION @ CRAWL SPACE**  
**SCALE: 1/2" = 1'-0"**



**FOUNDATION @ GARAGE**  
**SCALE: 1/2" = 1'-0"**

**FOUNDATION CONCRETE**

FOOTING	15 Cu Yd
STEM WALLS	13 Cu Yd
CONCRETE SLAB	13 Cu Yd
TOTAL CONCRETE	41 Cu Yd

**FOUNDATION NOTES:**  
ALL ANGLE 45° UNO  
8" THICK WALLS CONCRETE  
FOUNDATION WALLS  
ALL INTERIOR DIMENSIONS  
ARE TO CENTER OF FOOTING

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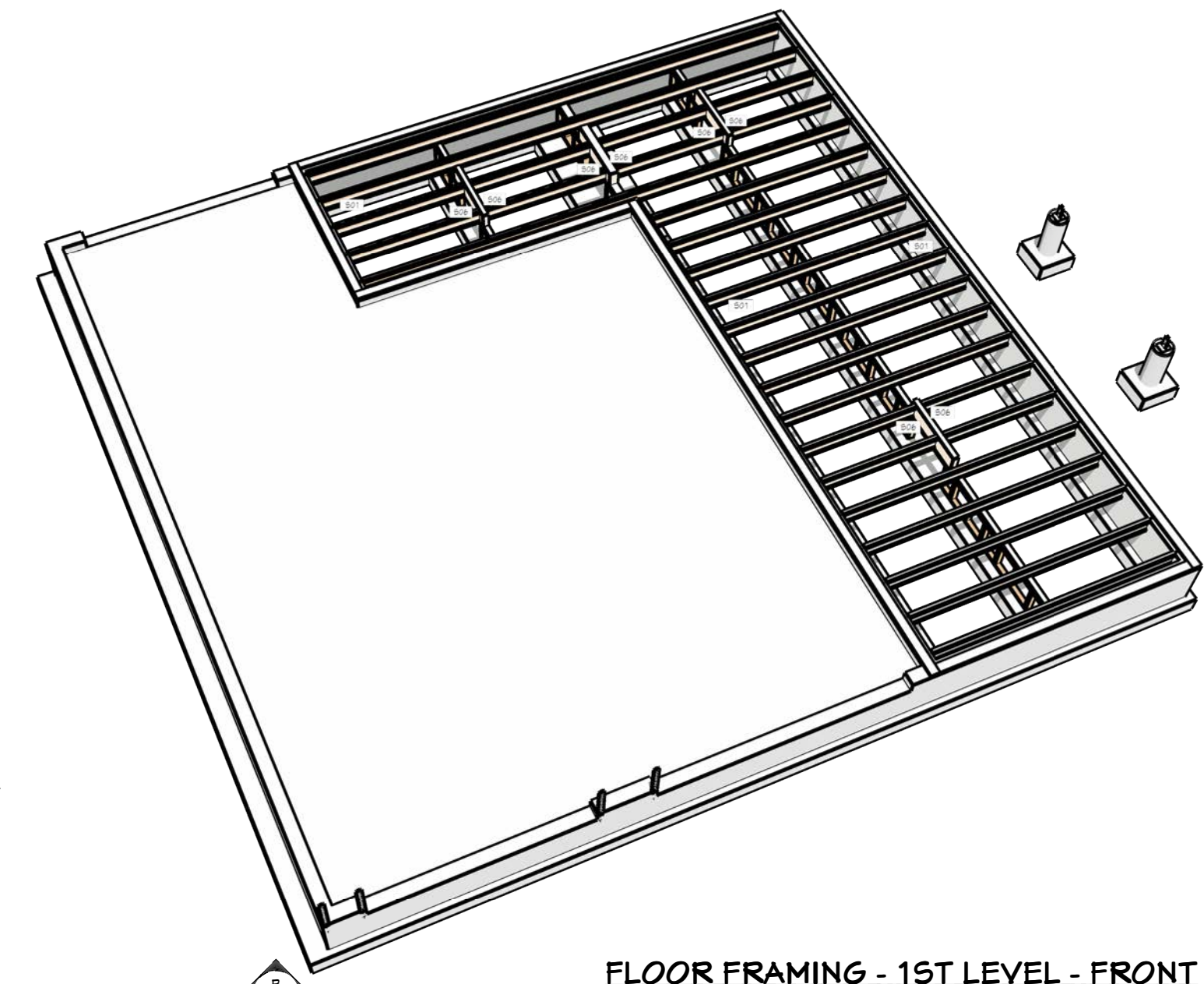


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FLOOR LAYOUT - 1ST LEVEL

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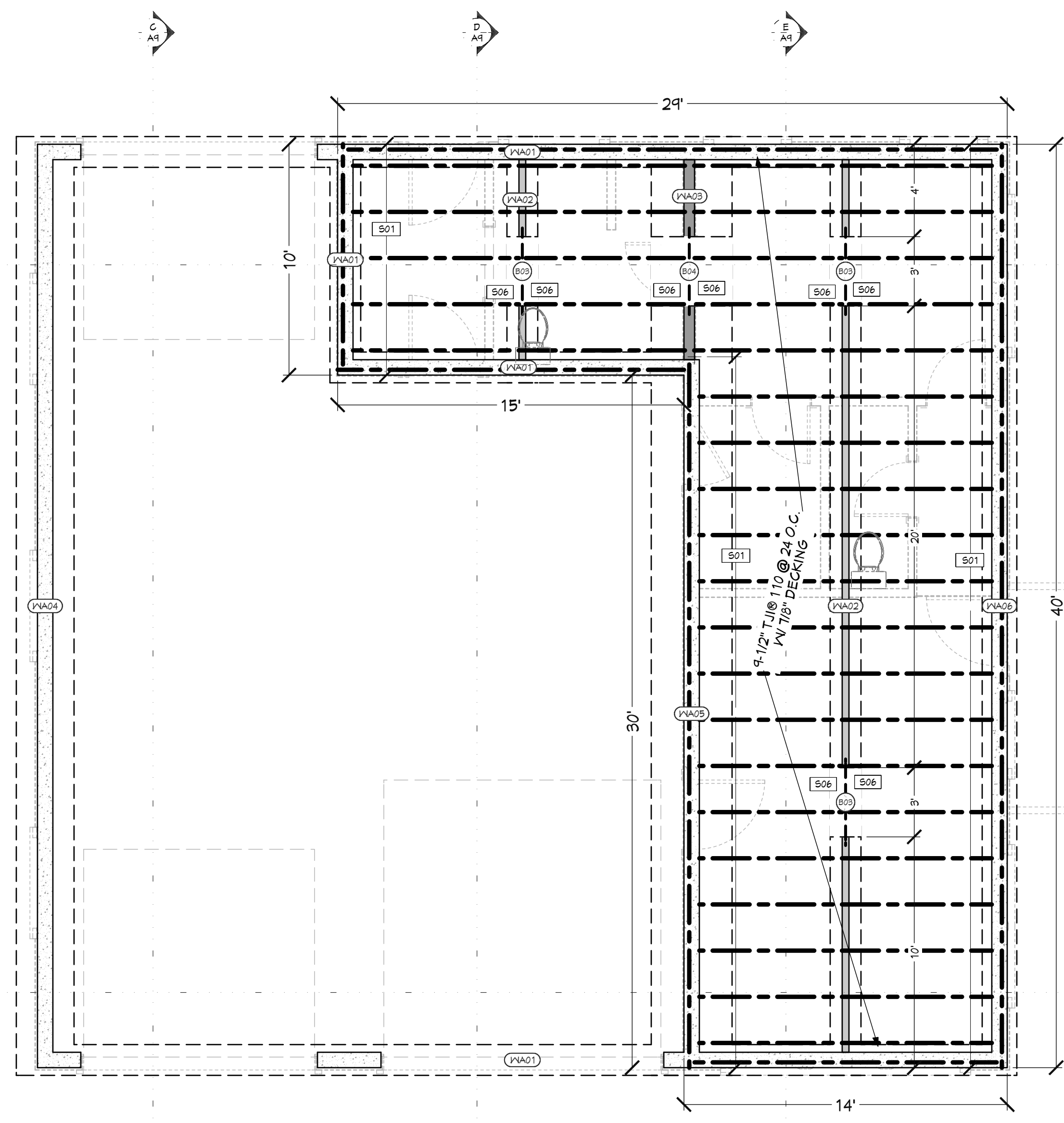
FLOOR FRAMING - 1ST LEVEL - FRONT

HANGER SCHEDULE					
CALLOUT	MODEL	TOP NAILS	SEAT LG.	MEMBER NAILS	FACE NAILS
S01	ITS1.81M5	4-10DX1.5	2.00"	2-STRONG-GRIP	2-10DX1.5
S06	IUS2.06M5	N/A	2.00"	2-10DX1.5	8-10DX1.5

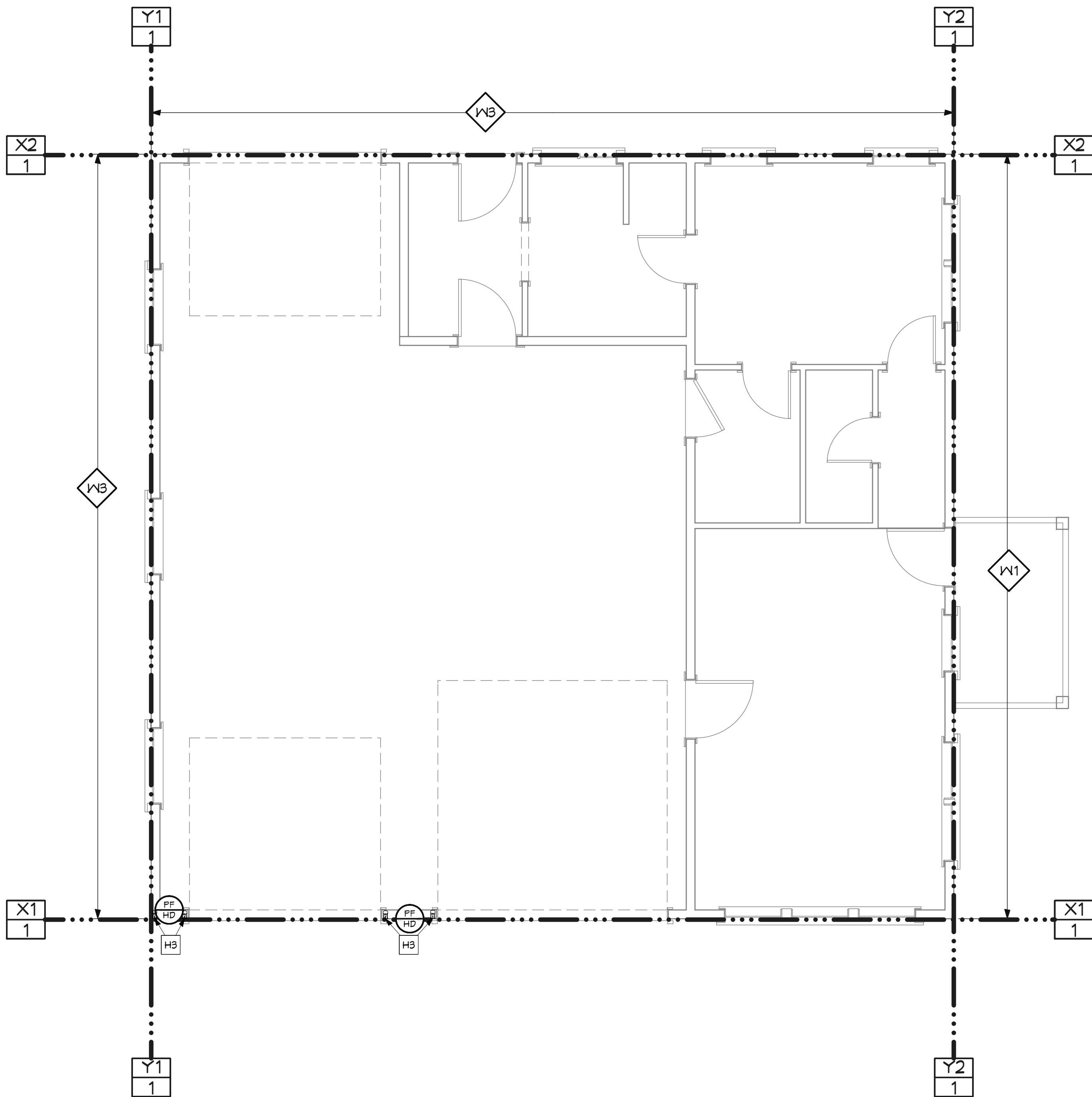
BEAM SCHEDULE					
NO	QTY	SIZE	TYPE	NOTES	BM CALC #
B01	1	6X10	LUMBER		1
B02	1	6X10	LUMBER		2
B03	3	4X10	LUMBER	CRAWL SPACE HEADER	
B04	1	6X10	LUMBER	CRAWL SPACE HEADER	

HEADER SCHEDULE	
NO	TYPE
H01	(1) 2X8 D.F.
H02	(3) 1 3/4 X 11 7/8 LVL
H03	(3) 1 3/4 X 9 1/2 LVL
H04	(3) 2X12 D.F.

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A7	ROOF LAYOUT
A8	SECTION VIEWS
A9	SECTION VIEWS
A10	ELEVATIONS
A11	ELEVATIONS
M1	ELECTRICAL

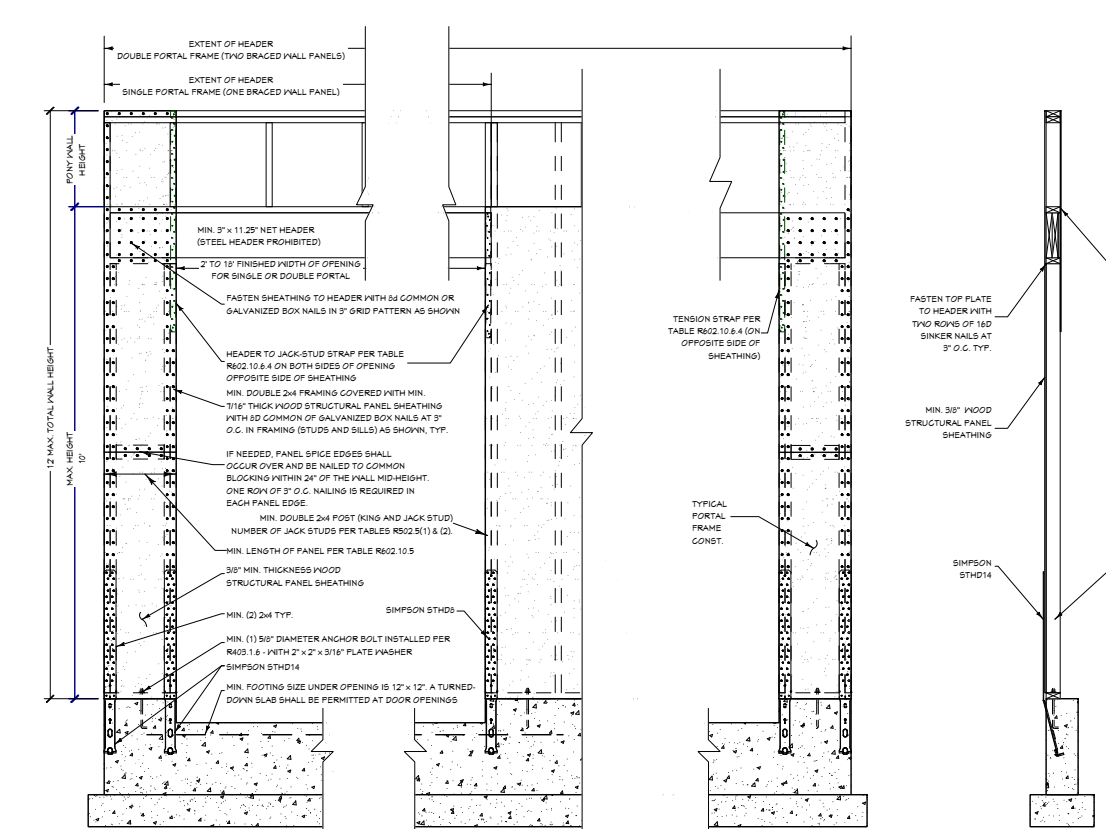


FLOOR FRAMING - 1ST LEVEL 1/4" = 1'-0"



HOLD-DOWN SCHEDULE			
CALLOUT	STRAP TYPE	STRAP FASTENERS	NO. OF STRUPS
H3	STHD14 (RJ WHERE APPLICABLE)	(30) 16D SINKERS	2

ENGINEERED SHEAR WALL						
BWP	SHEATHING	SIDES OF WALL	SHEET NAILING	SHEET STAPLING	BLKG	NAILING UNO (BOTTOM FLT INTO RIM)
W1	7/16" APA RATED	1	8D @ 6/12 OR	16GA X 1-1/2" @ 3/12	YES	(2) 16D NAILS PER 16" BAY
W3	7/16" APA RATED	1	8D @ 3/12		YES	(4) 16D NAILS PER 16" BAY



**PORTAL FRAME W/HOLD DOWNS (PFH)**  
SCALE: 1/4" = 1'-0"

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**WALL BRACING PLAN - 1ST LEVEL 1/4" = 1'-0"**

**PROJECT NO.**  
20-026

**40' x 42' SHOP FOR BROWN**  
**14132 PIONEER RD. VALLEY CO., ID**

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**SCALE:** SEE PLAN  
**START DATE:** 5/18/2020  
**PRINT DATE:** 7/14/2020

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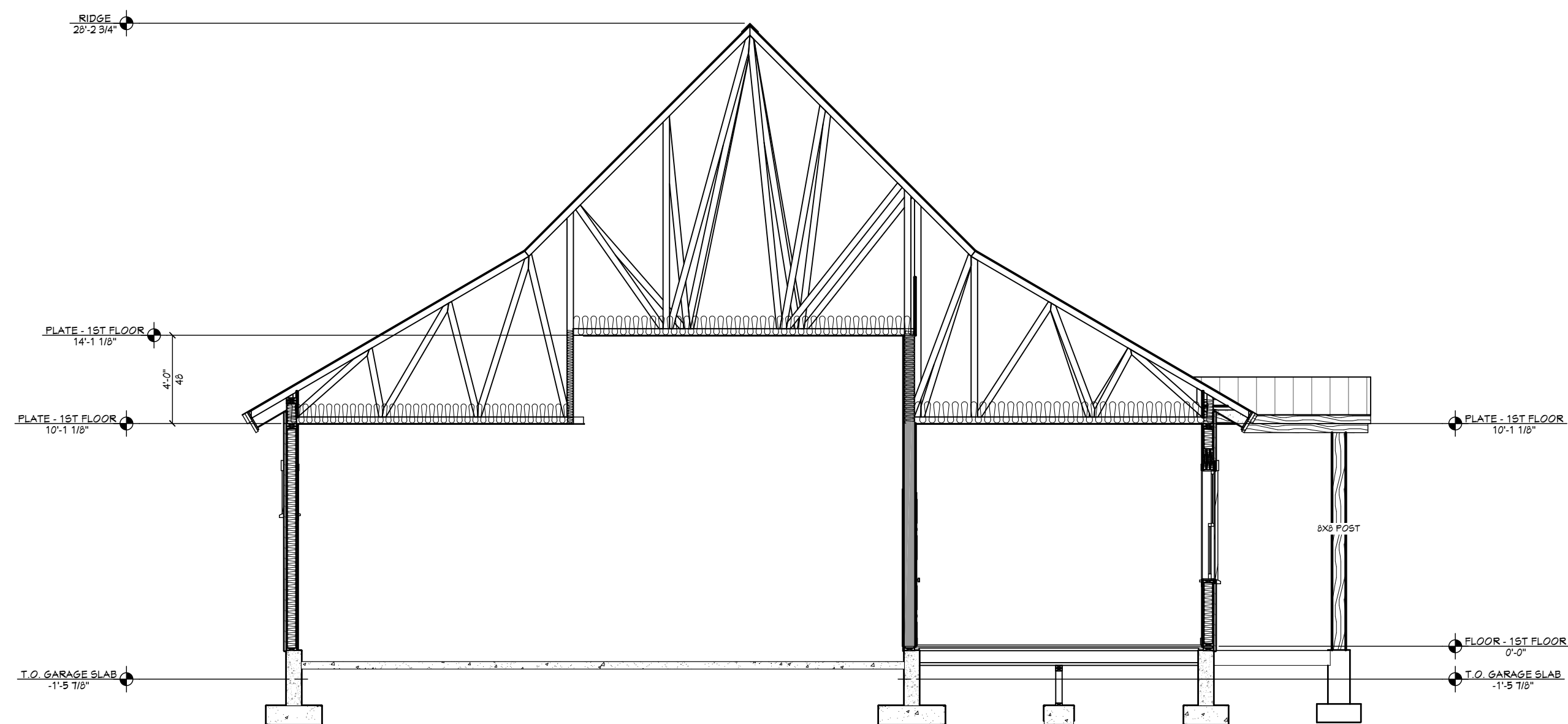
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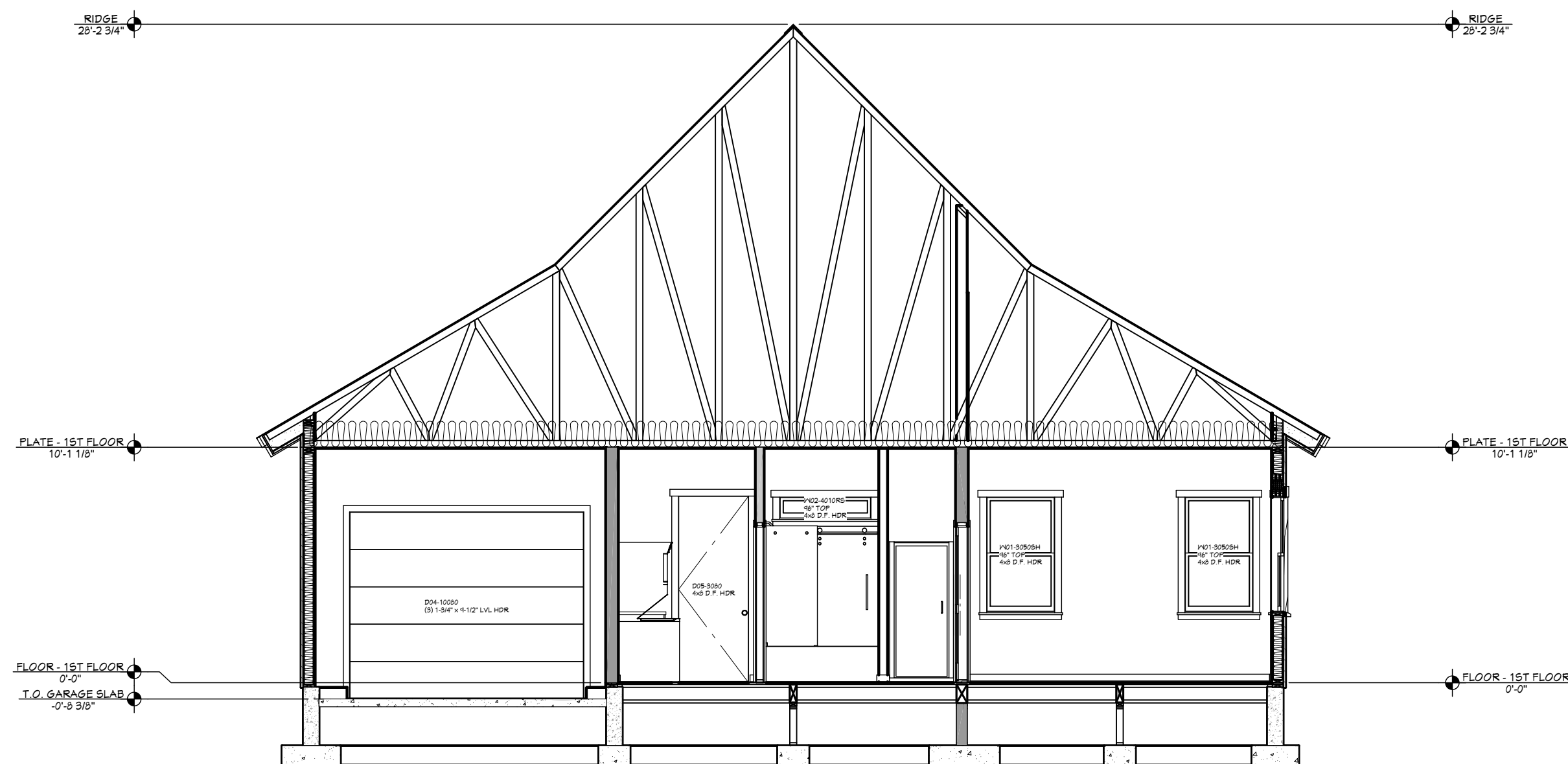




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VIEW A - A 3/16" = 1'-0"



VIEW B - B 3/16" = 1'-0"

HEADER SCHEDULE	
NO.	TYPE
H01	(1) 4X8 D.F.
H02	(3) 1 3/4 X 11 7/8 LVL
H03	(3) 1 3/4 X 9 1/2 LVL
H04	(3) 2X12 D.F.

BEAM SCHEDULE					
NO.	QTY	SIZE	TYPE	NOTES	BM CALC #
B01	1	6X10	LUMBER		1
B02	1	6X10	LUMBER		2
B03	3	4X10	LUMBER	CRAWL SPACE HEADER	
B04	1	6X10	LUMBER	CRAWL SPACE HEADER	

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SECTION VIEWS

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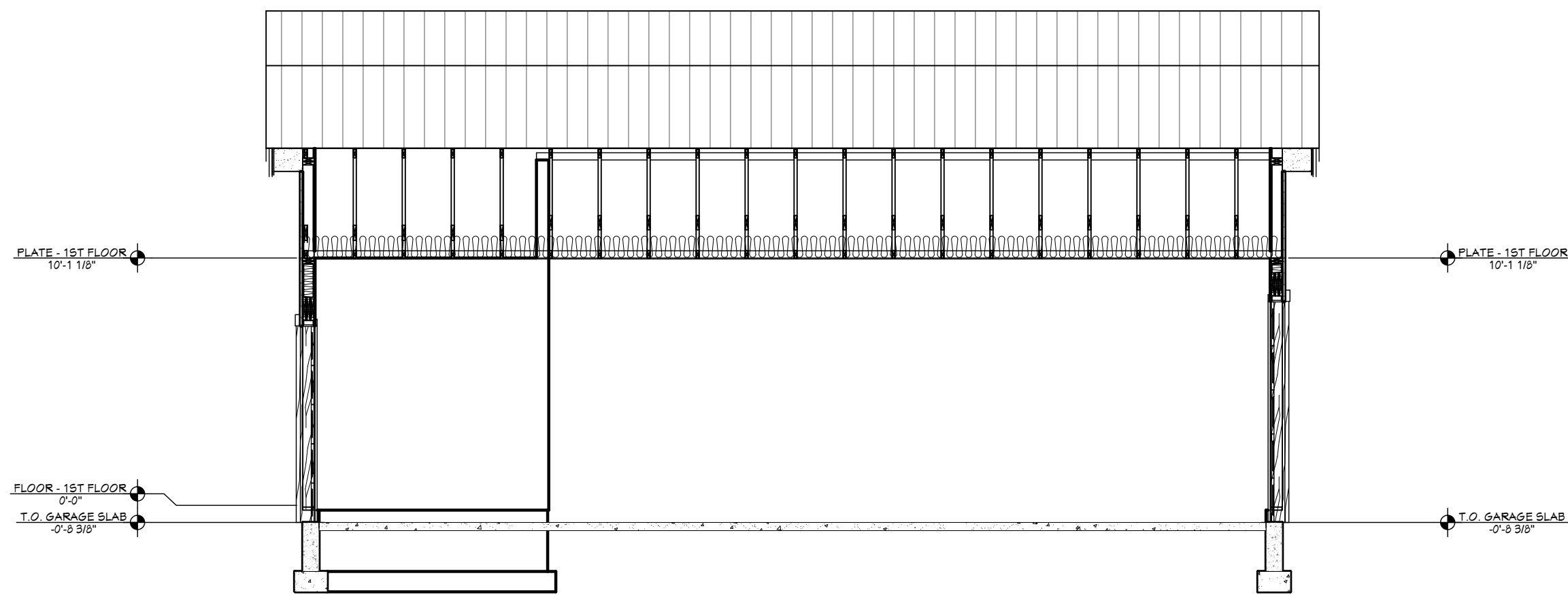
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SCALE:  
SEE PLAN

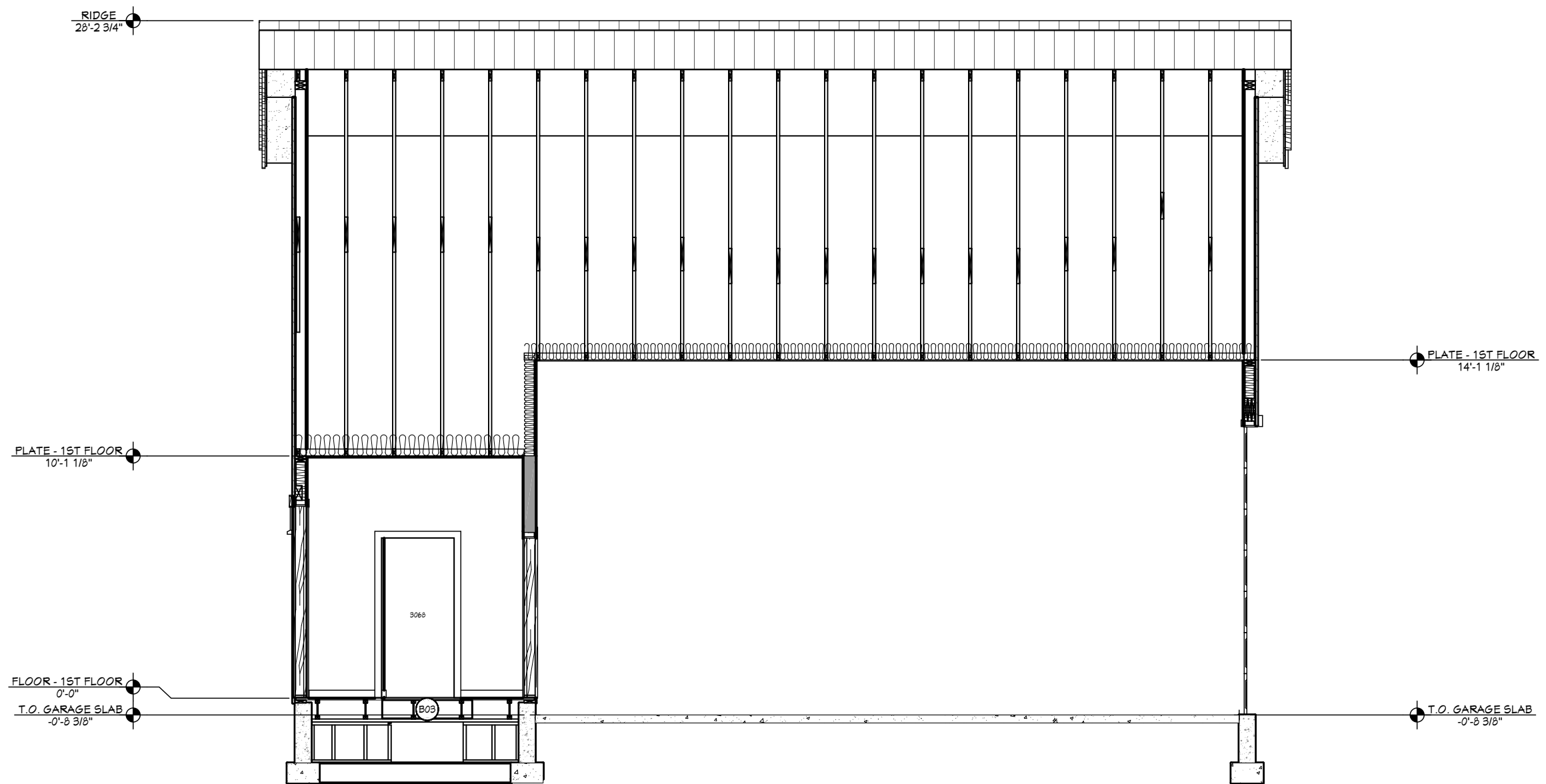
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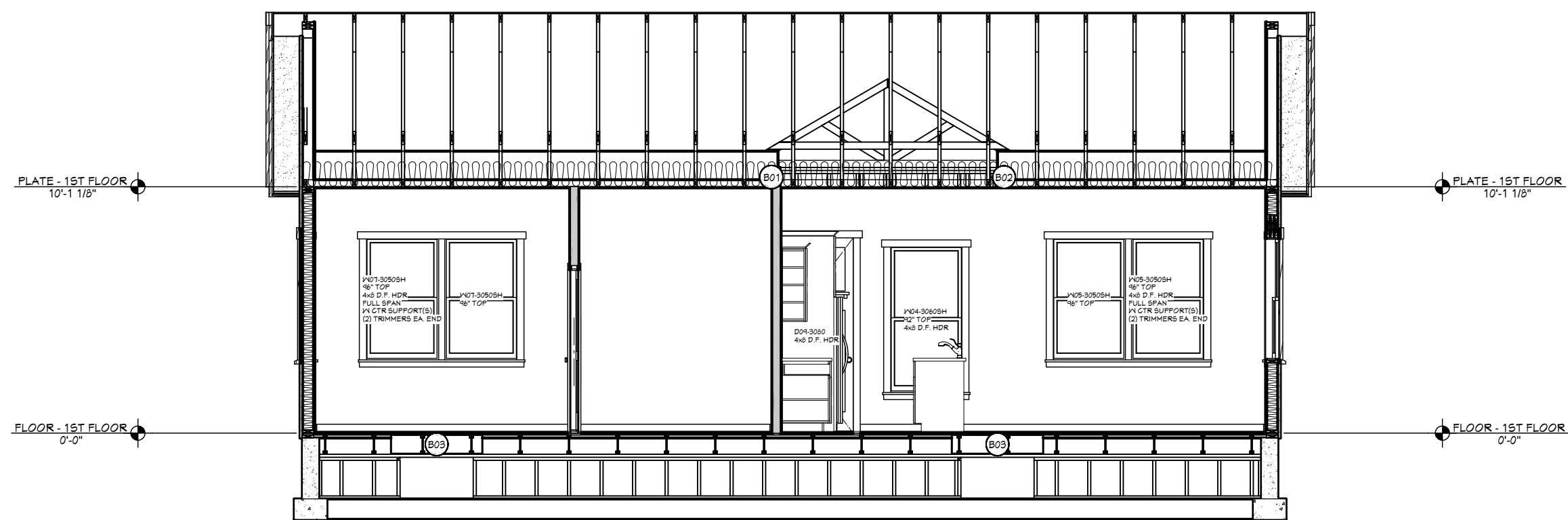
SECTION VIEWS



VIEW C - C 3/16" = 1'-0"



VIEW D - D 3/16" = 1'-0"



VIEW E - E 3/16" = 1'-0"

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ELEVATIONS

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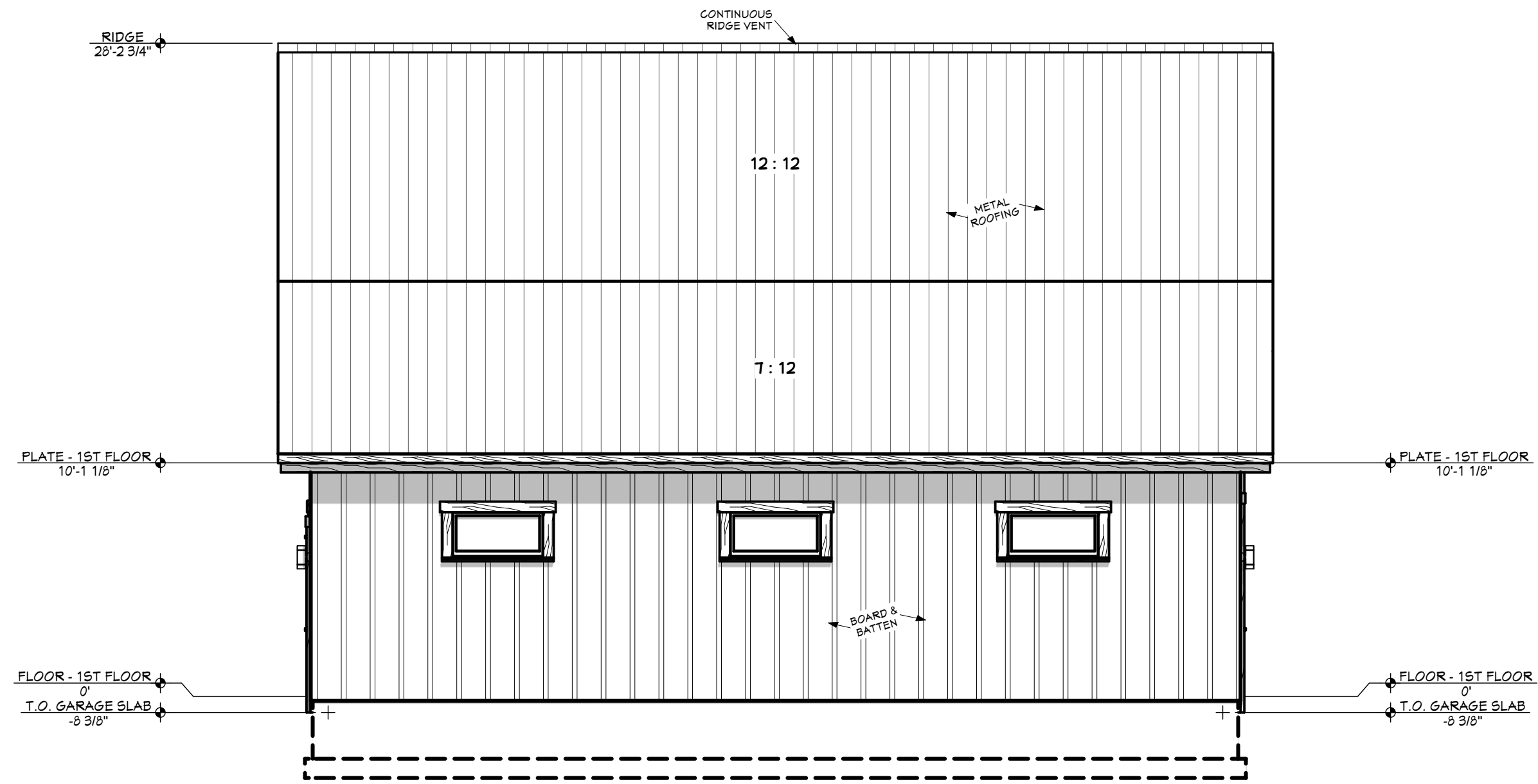


FRONT ELEVATION 3/16" = 1'-0"



RIGHT ELEVATION 3/16" = 1'-0"





LEFT ELEVATION 3/16" = 1'-0"



REAR ELEVATION 3/16" = 1'-0"

40' x 42' SHOP FOR BROWN  
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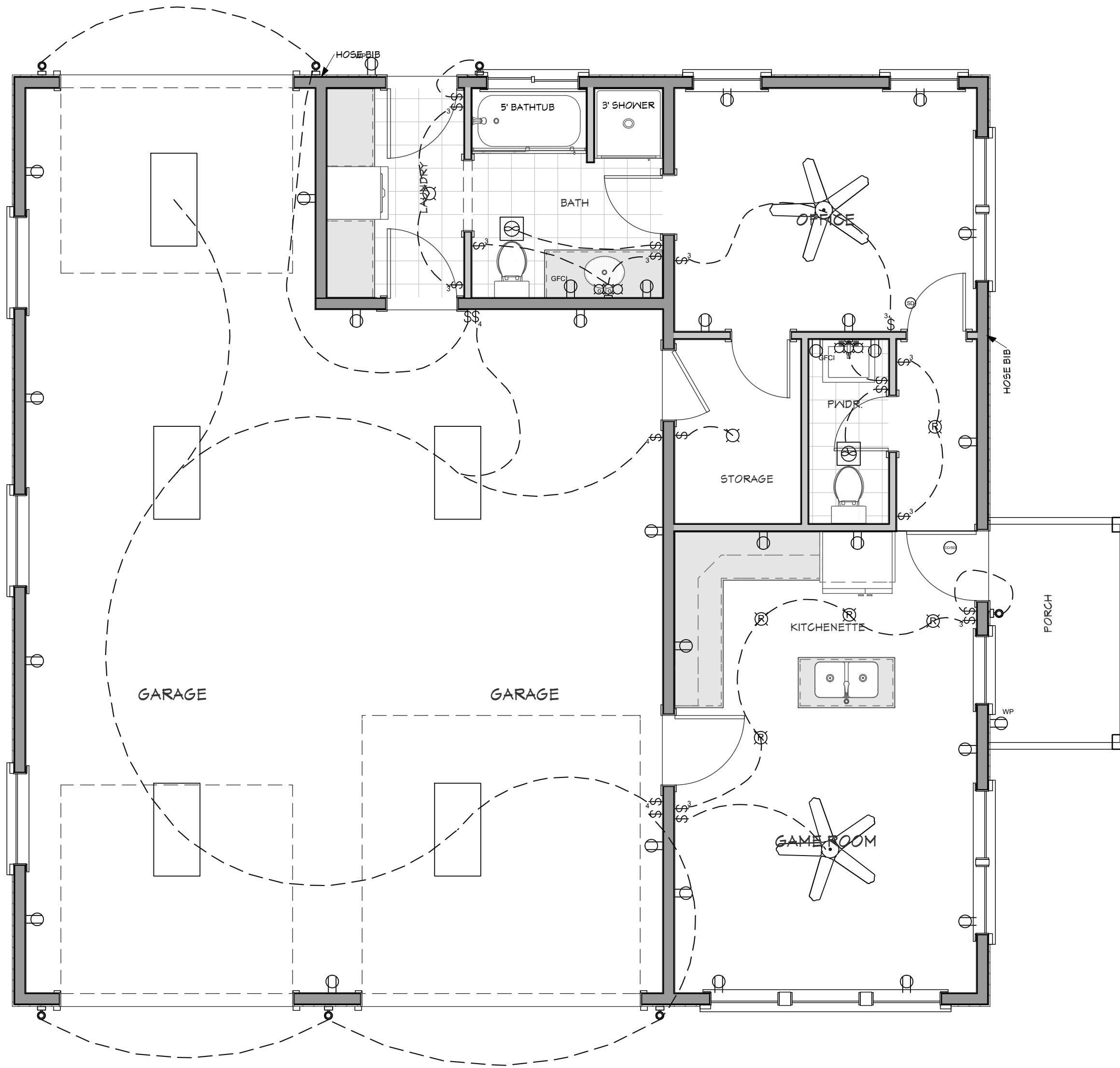
ELEVATIONS

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**ELECTRICAL - 1ST LEVEL 1/4" = 1'-0"**

ELECTRICAL SCHEDULE				
NUMBER	QTY	2D SYM	FLOOR	DESCRIPTION
E01	5	[Symbol]		MEDIUM DOUBLE SURFACE MOUNTED TUBE LIGHT (46W/2 LD)
E02	10	[Symbol]		THREE WAY
E03	9	[Symbol]		SINGLE POLE
E04	26	[Symbol]		DUPLEX
E05	6	[Symbol]		SCOPE SCONCE
E06	2	[Symbol]		FLUSH MOUNT CEILING LIGHT
E07	3	[Symbol]		FOUR WAY
E08	2	[Symbol]		EXHAUST
E09	2	[Symbol]		SCONCE 3
E10	2	[Symbol]		GFCI
E11	2	[Symbol]		CEILING FAN W/LIGHT
E12	5	[Symbol]		RECESSED DOWN LIGHT 6
E13	1	[Symbol]		PORCH LIGHT
E14	2	[Symbol]		DUPLEX (WEATHERPROOF)
E15	1	[Symbol]		SMOKE DETECTOR 1
E16	1	[Symbol]		CO/SMOKE DETECTOR

**EXTERIOR LIGHTING NOTES:**

All exterior lighting shall use full cutoff luminaires with the light source downcast and fully shielded, with the following exceptions:

- (A) Luminaires With Maximum Output Of One Thousand Lumens: Luminaires that have a maximum output of one thousand (1,000) lumens per fixture, regardless of number of lamps (equal to one 60-watt incandescent light), the bulb is not visible, and the luminaire has an opaque top or is under an opaque structure. (See section 3.14.09, figure 3 of this chapter.)
- (B) Floodlights: Floodlights with external shielding shall be angled; provided, that no light is directed above a twenty five degree (25°) angle measured from the vertical line from the center of the light extended to the ground, and only if the luminaire does not cause glare or light to shine on adjacent property or public rights of way (see section 3.14.09, figure 6 of this chapter). Photocells with timers that allow a floodlight to go on at dusk and off by eleven o'clock (11:00) P.M. are encouraged.
- (C) Residential Holiday Lighting: Residential holiday lighting from November 1 to February 1. Flashing holiday lights on residential properties are discouraged. Holiday lights are encouraged to be turned off by eleven o'clock (11:00) P.M.
- (D) Commercial Holiday Lighting: Commercial holiday lighting from November 1 to March 15. Holiday lights are encouraged to be controlled by timers.
- (E) Sensor Activated Luminaires: Sensor activated luminaires shall be permitted, provided:
  1. It is located in such a manner as to prevent glare and lighting onto properties of others or into a public right of way;
  2. The luminaire is set to only go on when activated and to go off within five (5) minutes after activation has ceased;
  3. The luminaire shall not be triggered by activity off the property.
- 4. Full cutoff luminaires are used with the light source downcast and fully shielded.
- (F) Emergency Lighting: Vehicular lights and all temporary emergency lighting needed by the fire and police departments, or other emergency services.
- (G) Uplighting For Flags: Uplighting for flags, provided the flag is of a government and the maximum lumen output is one thousand three hundred (1,300) lumens. Flags are encouraged to be taken down at sunset to avoid the need for lighting.
- (H) Lighting Of Communication Towers: Lighting of radio, communication and navigation towers, provided the owner or occupant demonstrates that the federal aviation administration (FAA) regulations can only be met through the use of lighting that does not comply with this chapter.
- (I) Airport Lighting: Lighting at the McCall Municipal Airport, provided the owner or occupant demonstrates that the federal aviation administration (FAA) regulations can only be met through the use of lighting that does not comply with this chapter.
- (J) Neon Lights: Neon lights permitted pursuant to chapter 5, "Signs", of this title.
- (K) Luminaires Used For Playing Fields: Luminaires used for playing fields shall be exempt from the height restriction, provided all other provisions of this chapter are met and the light is used only while the field is in use. (Ord. 940, 2-11-2016)

**PLACEMENT AND HEIGHT:**

Private Property: Freestanding luminaries on private property in residential zones shall be mounted at a height equal to or less than the sum of  $H = (D/3)+3$ , where D is the distance in feet to the nearest property boundary, but shall not be higher than fifteen feet (15') from ground level to the top of the luminaire, whichever is less.

Example

Pole Height	Distance To Property Line
15 feet	36 feet ( $36/3 = 12+3=15$ )
12 feet	27 feet ( $27/3 = 9+3=12$ )
9 feet	18 feet ( $18/3 = 6+3=9$ )

All exterior lighting shall not cause light trespass and shall protect adjacent properties from glare and excessive lighting.

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20-026

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