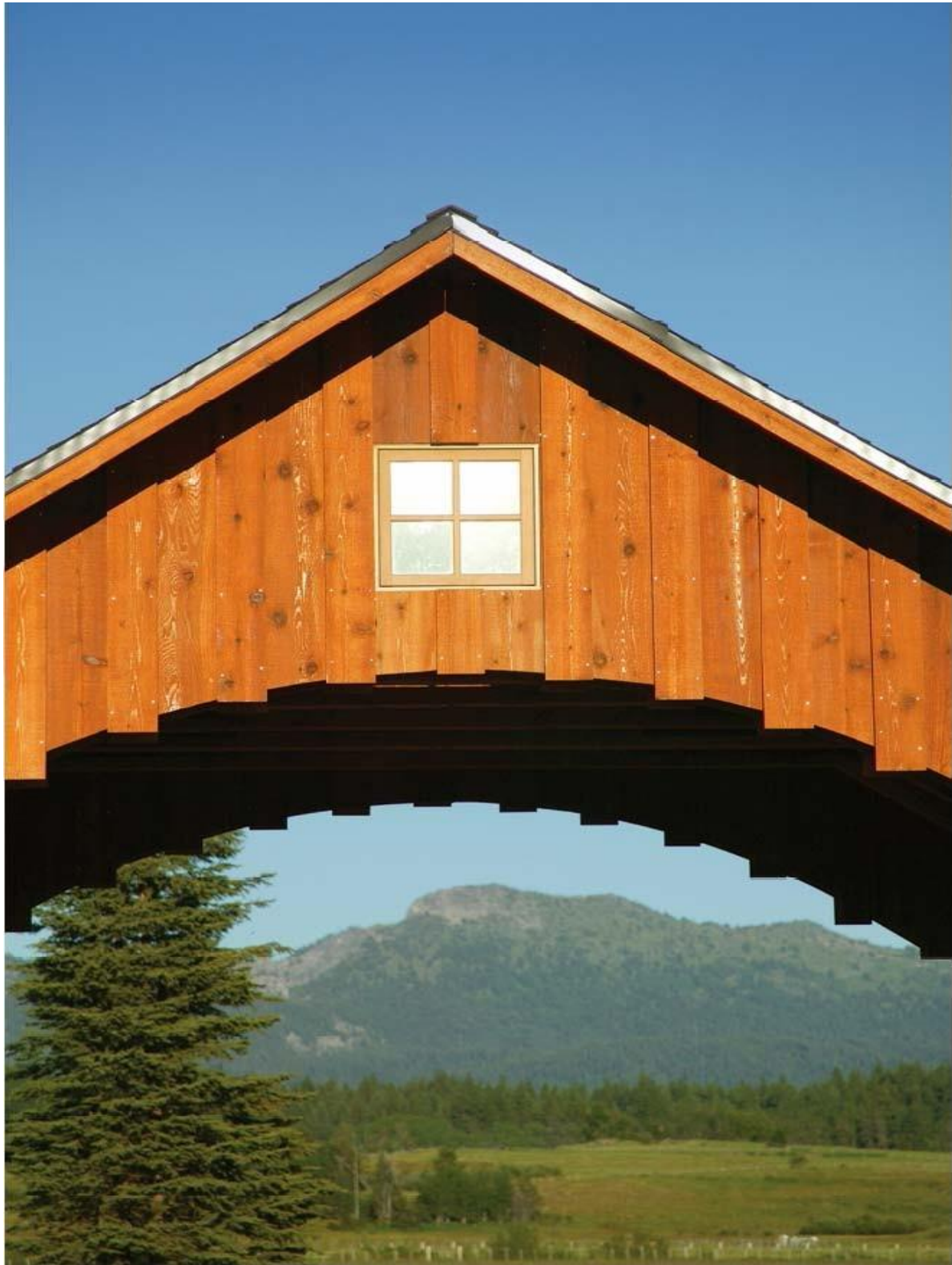




MCCALL, IDAHO





MCCALL, IDAHO

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# I. Design Guidelines Introduction

## 1.1 History of the Ranch

In the beginning, the land that became River Ranch McCall was home to local, native Americans. The wide reaches of the river provided water and food but were protected from the northern winds blowing across the big water, now known as the Payette Lake. It is known that for hundreds of years the Indian tribes fished in the waters of the river and farmed the lands of rich topsoil, which in places is three and four feet deep.

The first known European explorer was François Payette whose name is now memorialized in the river that stretches two-and-a-half miles along the ranch's western boundary. Payette's name is also commemorated in the pristine alpine lake to the north (referred to by many as the Lake Tahoe of 50 years ago), along with a national forest, a bustling town and several businesses.

Many thousands of acres of wilderness remain close to River Ranch McCall thanks to the Payette National Forest and the Frank Church River of No Return Wilderness Area.

### Brief History of François Payette



François Payette, a French Canadian trapper and Idaho forefather, lived a remarkably colorful life as one of the last bona fide mountain men.

He was born near Montreal, Canada, the youngest of six children, and worked as a canoeman on Lake Ontario during his youth. In 1810 at the age of 18, he went to work for John Jacob Astor at the Pacific Fur Company. Two years later, he and a small party of fur trappers traveled far westward and built Oregon's Fort Astoria.

In 1818, in company with Donald McKenzie and Jack Weiser, Payette explored the basin of the river that was later named after him. The group trapped beavers, earning as much as \$400 per year plus a commission for each pelt. However, as the demand for fur hats dwindled, the group's livelihood diminished. With the intrusion of white men into Indian territory, the group faced confrontations and even more ill fortune. One such conflict cost Payette his horse and

clothing. He escaped by swimming the Snake River completely unclothed. Later he was able to steal back his much-needed horse and clothing from the very band of Indians that had taken them.

About 1830, Payette married Nancy Portneuf, the half-Indian daughter of a French Canadian trapper and friend. The couple had two children before Nancy's death in 1837. During the next 10 years, Payette married several Indian women, fathering another son and one daughter who died in childhood.

In 1834, industry arrived and began to change the West and Payette with it. The Hudson Bay Company built Snake Fort – later named Fort Boise – at the mouth of the Boise River. Payette was brought in as postmaster and later as clerk. After 20 years with the Hudson Bay Company, he retired.

Now free to write his own ticket, Payette established himself as one of Idaho's best-loved innkeepers. Many visitors recorded their impressions of this man's remarkable hospitality. One traveler with the Fremont party wrote, "Capt. Payette, the gentleman in charge of Ft. Boise, is a Frenchman, exceedingly polite, courteous and hospitable..." Narcissa Whitman, an early immigrant, wrote in her diary of sumptuous dinners "served on tables with real chairs." Others remember that "the Manager, Mr. Payette, was kind and polite," and "a very agreeable French gentleman, who has been in this country since 1811."

François Payette lived a dangerous and primitive life in unexplored territory. He grew to regret his earlier harsh dealings with Indians, and later tried to teach them many new techniques for easier living, such as how to smoke and store salmon. Payette's children and grandchildren were educated in eastern schools, and as thousands of immigrants passed through the mountains following the Oregon Trail, the era of the mountain men drew to a close. Our history books give us only a portion of the frontier life that François Payette experienced. We do know that he explored, trapped and bivouacked along River Ranch McCall, Idaho.

*(Summarized from an article by Ron Marlow in The Independent Enterprise, Payette, 2001.)*

The first known modern period of land use was in 1900, when cattle grazed River Ranch's open pastureland, and also when a logging operation began. One of the original logging barons in the McCall Area was Carl Brown, whose granddaughter Diane Brown DeBoer is one of River Ranch McCall's current owners.

Carl and Ida Brown came to the McCall area in 1910. Their son, Warren, was born two years later. Described by later generations as McCall's Magnificent Mountain Man, Warren began dog-sled racing at the age of 12. At the age of 14, he traveled 600 miles by train with his mongrel dogs to race in the Regional Championships. He came in second behind a veteran musher with trained dogs, and was awarded \$750 in prize money, which was a tidy sum by 1926 standards. At 17, Warren was working full time in his family's timber business, following in the footsteps of his grandfather, who once owned one of the largest timber mills in New England. For his hard work, Warren earned the position of vice president, and in 1934, married Jayne Jones. The two continued to live and raise their children, Diane and Frank, among the tall trees that he loved.

In 1940, the Brown Tie and Lumber Mill was the largest employer in town with more than 100 workers. Brown was instrumental in building the new high school and in constructing a modern road system to connect the outlying settlers around the lake. He also led the construction of the Masonic temple in 1952 as well as the ski runs and jumps on 80 acres of hillside just west of the town, land his father had donated in 1937. It became known as The Little Ski Hill. Brundage Mountain Resort was then developed in the early 1960s by Warren and Jayne Brown J. R.

Simplot and Corey Engen. Judd and Diane DeBoer continue to own in partnership with J. R. Simplot the finest snow resort in Idaho.

In the 1940s and 50s, Warren had the foresight to purchase land for as little as one dollar per acre. The prices are a bit higher today. These holdings fed part of the northwest's lumber demand for years. The old site of the mill is beside the lakefront Brown Family Park, just north of downtown McCall.

In the 1980s, the DeBoer and Hart families acquired River Ranch McCall and reclaimed it as prime farmland, growing seed oats and operating it as a premier cattle ranch. The abundant water courses and rich grasslands have been restored to their original bounty. The ranch will now be shaped by a small number of owners who have discovered the beauty of the lake, the river, the wild backcountry and the numerous outdoor activities. Brundage Mountain Resort has steadily grown during the last 43 years and also provides the largest snow-cat skiing in the United States.

While the herd of cattle no longer graze at the "D Bar H" cattle ranch on the banks of the Payette River, the beauty of the land remains, and the riverbanks and lakes will be protected for future generations of owners at River Ranch McCall. Many thousands of acres of wilderness remain close to River Ranch McCall thanks to the Payette National Forest and the Frank Church River of No Return Wilderness Area.

## **1.2 Summary**

This manual is intended to guide the ranch owners at River Ranch McCall in the overall design and construction of their individual ranch houses. It is intended to be helpful and to encourage design inventiveness. While not overly restrictive, this manual does outline some specific guidelines, which will be considered in the review of ranch house designs.

As such, professional architects, building contractors and landscape design professionals will find this manual informative as they undertake the design and construction of modern, comfortable mountain and ranch structures, buildings based upon traditional designs found in the mountains of Idaho over the past 100 years.

*The goal of these design guidelines is to maintain the historical integrity of the ranch; create consistent and valuable design and construction of homes at River Ranch McCall; incorporate the natural elements of the land into the built environment; protect the environment for future generations; preserve the privacy of the residents; and create long-term economic value for the owners. The Payette River frontage of more than two-and-one-half miles and the lakes and waterways on the ranch are to be maintained and protected in their current pristine conditions for the enjoyment of future generations of owners at River Ranch McCall.*

*The vision of River Ranch McCall is to retain the historical ranch Character; preserve the beauty of the river and lakes on the property; and provide a peaceful and secure setting for all residents. To those ends, this private, exclusive ranch property provides each resident with waterfront or river view sites, maintaining the view corridor and vistas of the surrounding mountains. The long-term success of this vision will be evidenced by residents feeling secure in their homes and enjoying the peace and serenity of this unique community.*

These Design Guidelines, with illustrations and sample building and planning materials, attempt to describe the visual and environmental goals of the community. Included in Section 4.2 are minimum building sizes and building materials that are in keeping with the historical nature of the property. Additionally, no non-native trees, non-native grasses or large shrubs will be

permitted; massive mansions are discouraged, and appropriately sized and constructed buildings are encouraged.

River Ranch McCall has been years in the planning. A very large tree nursery was established in 2002 to hold native trees and shrubs, some of which were moved from other areas on the ranch in order to accommodate roads and building sites. The nursery is currently stocked with more than 2,000 trees, 500 of which are large conifers reaching 20 feet to more than 50 feet in height. This effort has yielded a preserve of trees and other plant materials for replanting on ranch sites. When completed, the ranch will have more than 10,000 trees.

The cattle have been removed from the site, and natural watercourses, lakes and wetlands have been re-established. This allows the area to return to a proper functioning condition, improving water quality and drainage patterns. More than eighty acres of the riparian area will be protected through a permanent conservation easement and maintained under protective covenant by the River Ranch McCall Owners Association. Five new lakes have been created along the original natural watercourses, which with the two-and-a-half miles of river frontage provide exceptional view sheds and recreational opportunities for all property owners.

### **1.3 In Consideration of Neighbors**

Consideration of the potential impact of a project of this size upon the surrounding landowners led the developers to host an on-site meeting of neighboring landowners in May 2001. The meeting was well received and resulted in the ranch developers being given assurance that the neighboring property owners saw great value and fully accepted the development.

The design guidelines are organized into eight chapters covering many aspects of the design and construction of homes, and have been proudly conceived with the utmost consideration for future generations.

### **1.4 Governance**

The primary entity for approval of any improvements, construction or landscaping, or alterations thereof, within River Ranch McCall, is the "River Ranch McCall Design Committee." The City of McCall will also review all construction documents after their approval by the Design Committee. No design, drawings or specifications may be submitted to the City of McCall without first having been reviewed and approved in writing by the Design Committee. These Design Guidelines, together with the General Covenants Conditions and Restrictions for River Ranch, McCall, Idaho ("CC&Rs"), and any Supplemental CC&Rs, and all other applicable county, state and federal permits shall govern the design, development and administration of improvements within River Ranch McCall. These Design Guidelines set forth the general design theme of all improvements in River Ranch McCall. They should be read in conjunction with the CC&Rs and any Supplemental CC&Rs. The CC&Rs provide a general outline for the application of architectural standards, including the authority and appointment of the Design Committee, and provisions for amendment of this document. These Design Guidelines provide more detailed requirements for improvements within River Ranch McCall, including application procedures for the design review process.

## **2. Ranch Homesite Layout Guidelines**

### **2.1 Overview of Ranch Layout**

The property at River Ranch McCall contains approximately 500 acres at elevations between 4,900 and 5,100 feet. This property has been divided into 65 residential lots of varying sizes, with the average developable lot size being approximately 5.24 acres, or 350 feet wide and 675 feet deep. Two additional lots have been set aside as community fields. Streets will be only 20



feet wide to encourage safe driving and shall be composed of asphalt with four-foot shoulders. Street Rights of Way comprise approximately 5.5% (24 acres) of the total land area, with a total length of more than three miles. All streets are designed with a maximum 6% gradation. The hiking and bike trails on the property – to include the Owners’ River Trail, the Lake Trails and the Town Trail – will provide an additional seven miles of improved access, and will connect to the McCall bike-trail system.

A pressurized water system will be constructed to provide irrigation water within the ranch property. Individual water wells will not be required as potable water will be provided by the City of McCall. Idaho Power, Frontier Communications and Charter Communications will provide electric, telephone and cable TV services.

## **2.2 Individual Homesite Analysis**

Prior to initiating the design process, a site analysis should be performed for individual homesites to evaluate the following site elements for design opportunities and constraints.

- Property boundaries and setbacks
- Easements
- Location of utilities
- Optimum driveway access
- Association Maintained Envelope, Landscape Envelopes, and Construction Envelopes
- Topography – site drainage, rivers, lakes and streams
- Existing vegetation
- Natural features to be retained
- Neighboring land uses and improvements
- Views from and to the homesite
- Solar orientation, shadows and wind patterns.

Homesite diagrams have been prepared for each individual homesite to illustrate property boundaries, easements, the limits of the landscape and construction envelopes and other site-specific constraints. These may be obtained by request from the River Ranch McCall sales office on Headquarters Road. Refer to the drawing below for an example of a homesite.

## **2.3 Setbacks and Easements**

Improvements within setbacks and easements shall typically be limited to the construction required for the installation of driveways and utilities. Grading is not allowed in these areas except as required for the aforesaid. Landscaping shall be limited to the restoration of disturbed areas back to their natural condition. On lakeside parcels, a lakeside deck, a floating dock and a minimal pathway from the house will be allowed within the setback pursuant to Section 3.4.

## **2.4 Landscape Envelope**

The Landscape Envelope includes the area between the Construction Envelope and the Association Maintained Envelope, defined below. Improvements within the landscape envelope are subject to the same limitations as improvements within setbacks and easements, except that fencing and landscaping are allowed pursuant to Sections 2.10 and 3.7 respectively.

For more specific information on landscaping with native vegetation, please see Section 3.6 and appendices Nos. 2 and 3. Additionally, it is recommended that a landscape professional with mountain experience be consulted.



## **2.5 Construction Envelope**

All structures and improvements allowed by these guidelines – except for those specified above – are to be located within the boundaries of the construction envelope as delineated in the individual homesite diagrams. The placement of the improvements within this envelope may be limited by significant site features, which will be designated to be retained during the pre-design site meeting described in Section 6.2 of these guidelines.

Site disturbance and access should be limited only to those areas that are necessary for construction of the improvements pursuant to Section 3.2.

## **2.6 Association Maintained Envelope**

The portion of an owner's lot beyond the Landscape Envelope is defined as the Association Maintained Envelope. This envelope is established on each lot to maintain the historical ranch character of River Ranch McCall, provide consistency in landscaping and upkeep, and preserve the natural look of River Ranch McCall. The CC&Rs, as supplemented in 2008, provide that The River Ranch McCall Owner's Association is responsible for and has a nonexclusive easement on, over, and under each lot for the construction, maintenance and repair of all Building Improvements within the Association Maintained Envelope on each lot, except for (1) driveways and underground utilities located within the envelope; and (2) for Owners of lakefront property, decks, docks, and pathways as approved by the Design Committee.

Owners are not permitted to maintain or repair any improvements within the Association Maintained Envelope or make changes to the landscaping within the Association Maintained Envelope without the express written consent of the Design Committee, which consent can be withheld for any reason. Association Maintained Envelopes are depicted on the Homesite Diagram applicable to each lot. The Design Committee may, in its sole discretion, modify the Association Maintained Envelopes specified on the Homesite Diagram upon request from the Owner of the lot, consistent with these Design Guidelines.

The River Ranch McCall Owner's Association recognizes the need to respect each owner's quiet enjoyment of its property and will endeavor to provide reasonable advance communication and notice to any affected property owner or owners in the event of any work to be performed within the Association Maintained Envelope on a lot. The River Ranch McCall Owner's Association will maintain and update from time to time a protocol for such notification, which will be provided in writing to each of the owners.

## **2.7 Existing Natural Features**

To preserve the natural setting of the ranch, existing site features shall be incorporated into the design of the homesite as far as possible. Structures and other improvements such as driveways should be located as required to incorporate and preserve existing areas of vegetation, landforms and drainage courses.

Adequate protection of these features shall be provided as outlined in Section 3 of these guidelines.

## **2.8 Driveways**

Ranch homesites may be accessed by only one driveway. Driveways shall cross only front setbacks and shall not be located within side setback zones unless shared with an adjacent homesite or located on a dedicated easement. To minimize disruption of the existing landscape, the design of the driveway shall be located where it will require the least amount of cut and fill. The driveway surface shall be a minimum of 10-feet and a maximum of 14-feet wide, curvilinear and hard-surface paved. Flared aprons at the street right-of-way may not

exceed a 20-foot radius. Refer to individual homesite diagrams for any specific limitations to the placement of driveways.

## **2.9 Decks and Docks**

Docks that extend into the river are not permitted. Easements and view sheds must be respected, and no construction is to invade natural features or the 50-foot setbacks in accordance with Zone SL (Shoreline and River Overlay) regulations. Lakefront property owners may construct a lakeside deck of up to 20 by 30 feet at the edge of the lake. Floating docks of 12 by 6 feet may be shore-anchored and connected to the lakeside decks

## **2.10 Utilities**

All utilities shall be placed underground from the service point of connection to the home in accordance with applicable codes and service-provider requirements. To the extent possible, these utilities should be combined in joint trenches and located adjacent to other improvements such as driveways in order to minimize disturbance of the site. Propane fuel tanks shall be buried and located within the construction envelope.

## **2.11 Fencing**

Fencing will not be allowed on individual homesites within the front, rear and side setback areas. The River Ranch standard three-rail, split-cedar fence design will be allowed within or at the boundary of the landscape envelope.

Limited pet enclosures and fencing for screening and protective purposes may be allowed within the construction envelope at the discretion of the Design Committee if fully integrated into the home design and not obtrusive to neighboring homesites or River Ranch common property. All proposed fencing shall be included in the Design Review Submittal.

### **3. Site Preservation Guidelines**

#### **3.1 General**

River Ranch McCall is located in a rich and beautiful setting. To ensure adherence to the vision of developing ranch homesites that will add to rather than detract from this setting and to preserve existing natural features, the following regulations will be required of all contractors and sub-contractors.

#### **3.2 Construction Activity Limitations**

Construction activity shall be limited only to those areas that are required for construction of improvements. Access to the construction envelope shall be limited to the location of the permanent driveway. It is the responsibility of the contractor to provide protection for the natural site features through the construction process while still providing safe and reasonable access for the construction crew.

#### **3.3 Best Management Practices (BMPs)**

To prevent water from storms, snowmelt and impervious surfaces such as paved surfaces, roofs, decks and patios from flowing into the river or lakes, temporary (during construction) and then permanent BMPs are required to divert such runoff to areas where the water can percolate into the ground. Dry wells, rock and filter-fabric lined trenches or simply holes in the ground contained within the construction envelope shall be utilized.

Stabilization of slopes and erosion prevention by revegetation, retaining walls and sub-surface drains are means of preventing plant nutrients from draining into and polluting the river and lakes.

Owners, architects and contractors shall adhere to the BMPs as it is the desire of River Ranch McCall to follow, in so far as possible, the regulations of the Federal Clean Water Act of 1972.

#### **3.4 Protection of Trees and Vegetation**

No tree greater than four-inches diameter at breast height (dbh) shall be removed without the prior approval of the Design Committee.

Trees and vegetation designated for retention must be protected at all times during the construction phase of the ranch homesite. Trees, plants and major features are to be flagged in the pre-design homesite meeting to specify features that need to be saved and protected.

To preserve existing trees designated to be retained, improvements or grading within the driplines of tree canopies should be avoided. Additionally, where these trees occur within construction activity zones, access to these areas should be restricted during construction by placing four-foot tall orange construction fencing around the entire dripline. Where this is not possible, the tree trunks must be protected by installing planks of wood – strapped, never nailed – around the trunks. Protect the tree roots and soil under all tree canopies (i.e., to the driplines) from compaction by bridging across the entire driplines of trees.

### **3.5 River and Lakefront Protection**

Each ranch homesite will have a spectacular setting focused on either the river or one or more of the lakes. Many lots have more than 300 feet of lakefront while others overlook as much as 1,100 feet of open water.

During the construction phase, all contractors must provide protection particularly to the riverfront and lakes by means of fencing or barricading to restrict access so that soil compaction does not occur, natural features are not disturbed and erosion control is effected. Contractors are to submit specifications for such protection to the Design Committee prior to beginning construction.

### **3.6 Post-Construction Restoration**

Despite rules and regulations to the contrary, building and development do cause disturbance of homesites. Upon completion of construction, site restoration is to be accomplished so as to make each site appear as if the land had never been disturbed. Appropriate revegetation must simulate, in so far as possible, the adjacent undisturbed areas. See Appendices Nos. 2 and 3 for a list of approved trees and shrubs as well as a list of companies selling grass seed and plant and tree seedlings.

Owners and their contractors are responsible for the cost of restoring undeveloped portions back to their natural state.

### **3.7 Native Trees and Vegetation**

All planting of trees, shrubs, grasses and flowers should be selected from the lists of natives and those recommended by the University of Idaho and the U. S. Forest Service's Payette Forest Division.

### **3.8 Irrigation and Vegetation Maintenance**

To establish transplanted trees and shrubs and the revegetation of disturbed areas, regular irrigation must begin immediately after transplantation. Trees and potted shrubs must be watered daily starting two weeks prior to transplanting. Should areas of native seed mix be used, irrigation is not permitted after seed has properly begun to grow as permanent irrigation is not allowed in setbacks or areas of native vegetation.

Active irrigation for planted and transplanted specimens must continue for a minimum of two years with a possible reduction of the amount of water during the second year. Large trees, however, require watering for up to five years. It is recommended that a landscape contractor be consulted for advice on irrigation.

## **4. Architectural Guidelines and Suggestions**

### **4.1 General Overview and Design Character**

To preserve the natural setting as the dominant focus of River Ranch McCall, all buildings must reflect regional traditions, those being the rustic ranch-house and mountain-cabin character and style. Diversity and individual expression are encouraged, thus leeway to customize homes to the owner's preference will be considered by the Design Committee but must adhere to the architectural integrity of the regional traditions.



The mountain ranch setting is to be reflected in the use of natural materials such as wood and stone. The ability to stand up to the severe winter climate as well as functionality and comfort are inherent in the design. The architecture should incorporate simple and functional roof forms, including substantial structural members, large protective overhangs, significant architectural detailing, dormers and covered porches. Detailing should be sturdy and rugged in scale. The home design should not be distracting or call attention to itself but should respond to the characteristics of the site.

#### **4.2 Building Size and Height Limitations**

The minimum required size for residences at River Ranch McCall shall be 2,400 square feet of living area with a minimum ground floor area of 1,800 square feet or 60% of the total living area, whichever is greater. The maximum size home shall be limited to 10,000 square feet of living area. The living area is defined as habitable space that is heated, with a ceiling height of at least five feet. Interior and exterior walls shall be included in the area calculations. Outbuildings or basements with no exterior walls exposed will not be included in the living space calculations. Refer to Section 4.8 for size limits of outbuildings.

Homes must not appear excessively tall and shall be limited to a maximum height of 35 feet above the average natural grade. The building height shall be determined by measuring the vertical distance between the highest point of the structure and the average of the highest and lowest points where the exterior walls meet grade.

### 4.3 Architectural Form and Massing



River Ranch McCall encourages form and massing that relate to the natural characteristics of the site. On sloping sites, the building form should step with the natural grade, and on level sites, the form should tend toward the horizontal. Massing should be higher at the center of the structure and lower at the outer edges. Designs with more floor area on the ground floor than on the upper floor will result in appropriate massing. Asymmetrical massing is encouraged.

### 4.4 Building Elevations

In designing a home that will complement the mountain ranch setting, it is important to pay close attention to the home's building elevations. The careful placement of wall materials, doors and windows, offsets in wall planes and roof overhangs will enhance the scale and quality of the architecture. In doing so, the design should consider that the home will be viewed from all directions.

Large wall planes should be avoided. Substantial structural offsets should be provided to reduce the height and length of uninterrupted walls, and walls should not exceed two stories in height.

The size and proportion of the windows should be compatible with the overall proportion of the structure. The appearance of large areas of glass should be reduced by providing multiple units and divided light windows. Overhangs should be utilized to provide shadows and to reduce the impact of the reflectivity of glazing. Mirrored or colored glass windows are prohibited.

## 4.5 Roof Design

The roof design is a critical aspect of the architecture, providing protection of the home and influencing the overall massing and appearance. The primary forms should remain simple and the roof orientation and pitches should be designed to accommodate winter conditions and snow.

Large roof areas should be broken up with properly placed and appropriately proportioned shed and gable dormers. Substantial overhangs should be provided to enhance the function of the roof and to protect the walls below. Excessively long, uninterrupted ridge lines should be avoided.

Roof pitches shall be limited as follows:

- Minimum Primary Roof Pitch 5:12
- Maximum Roof Pitch 16:12
- Minimum Secondary Roof Pitch 2:12

Primary flues and vents should be combined and enclosed in chimney enclosures that are fully integrated with the design of the home. Chimneys should be substantial and designed with consideration for heavy snowfall. They may extend a maximum of four feet above the highest allowable roof elevation.

Although generally discouraged on the street side, skylights may be permitted. Note that such skylights must be constructed so that snow sliding off the roof will not damage the skylight. Solar panels may be used if adequate orientation to sunlight does not cause the panels to intrude upon the overall characteristics of the ranch-house style design. For example, place the panels on the backside of an outbuilding so that they are not visible from the street or neighboring properties. Solar panels and skylights should be in the same plane as the roof and should not rise more than eight inches above the roof plane.

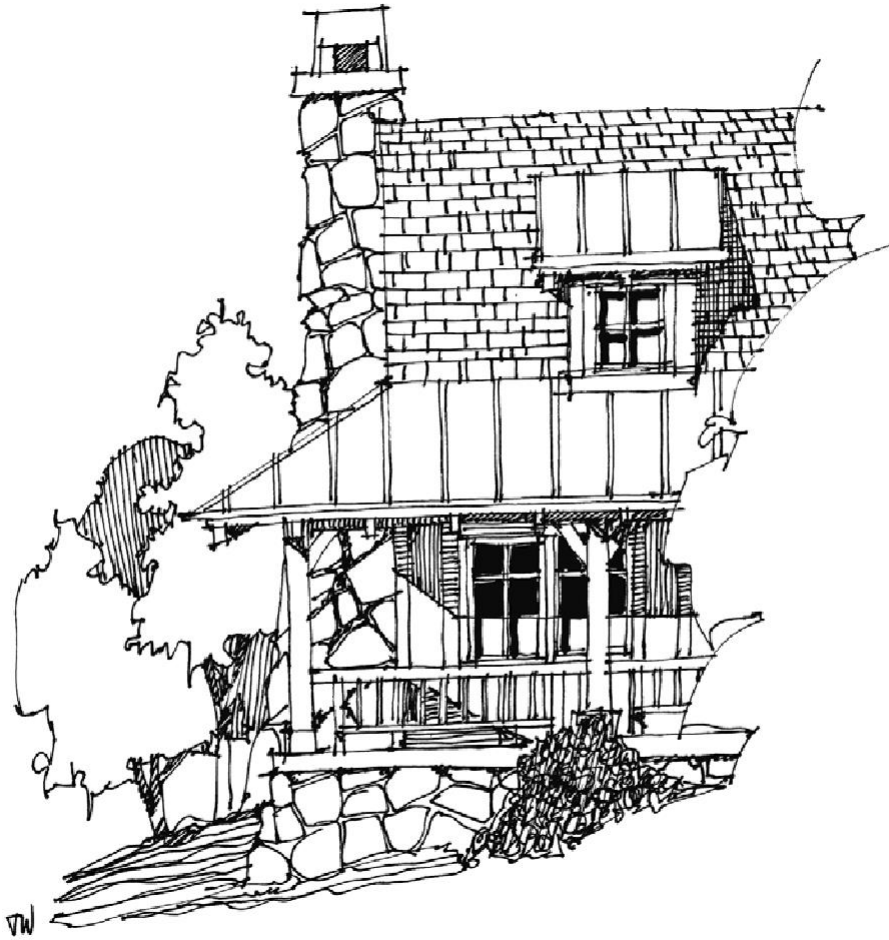


#### 4.6 Entrances and Portes Cocheres



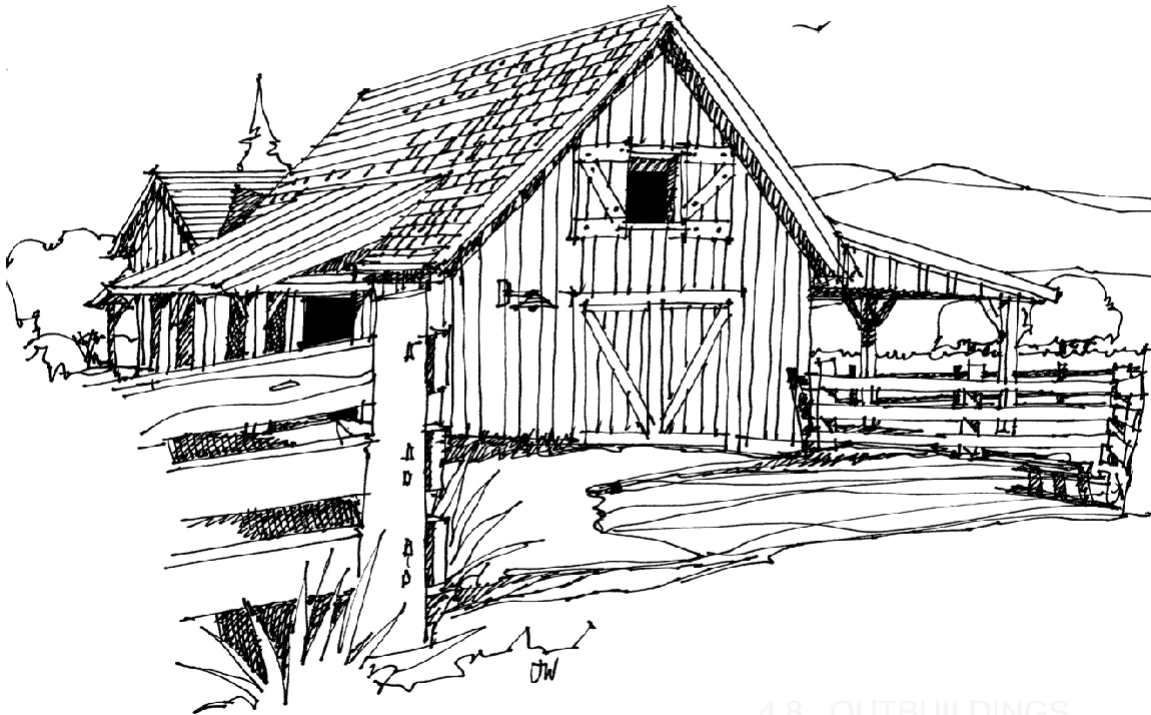
The design of front entries shall be in appropriate proportion to the exterior façade and massing of the home, and shall reflect traditional ranch-house or mountain-cabin architecture. Overscaled, grandiose entrances are discouraged. A covered front porch enhances the front entry as the main entrance to the home and opens the structure up to the outdoor living space. A porte cochere is not typical of this style of architecture but may be allowed if well integrated with and in proportion to the scale of the main house.

#### 4.7 Decks, Patios and Terraces



Large elevated wood-framed decks are not desirable. Decks, patios and terraces that are close to grade improve the home's relationship to the adjacent terrain and are preferred. If decks are desired at an upper level, they should be small and well integrated into the massing of the home.

## 4.8 Garages, Guest Houses and Outbuildings



### 4.8 OUTBUILDINGS

In order to present a more aesthetic view of ranch owners' homes, garages should not dominate the front elevation of the home nor open to the front street. Detached garages are encouraged. The garage appearance may be minimized by recessing the doors or by incorporating glazing into the door panels. Additional requirements are as follows:

- Single bay doors only may be used with a maximum of three doors in the same plane and four doors on the same elevation.
- Garage doors should be constructed of wood building materials.
- Open carports without two side walls will not be approved.

Outbuildings such as guesthouses, playhouses and storage sheds are encouraged and should be designed to be complementary to the main house. Paths, low walls or other connecting features must also be complementary to the main building. The quantity of outbuildings shall generally be limited to three and the size of each shall be limited to 30% of the main structure. Prefabricated buildings will not be approved.

RV parking is permitted on individual lots but efforts must be taken to screen the vehicle from the street. It is preferred that the RV be parked inside an approved structure. Short term exterior parking of RVs for up to two weeks at a time is permitted.

## **4.9 Exterior Lighting**

To minimize the impact of light upon the River Ranch McCall property as a whole, to eliminate ambient light pollution into the upper air space, and to conform to the Valley County lighting ordinance, the following limitations will be imposed:

- Trespass of light onto other properties is not allowed.
- Light sources shall be shielded and should be directed downward to minimize light being seen off-site.
- Lighting is allowed only at outdoor occupied areas and as necessary for safety of the users of the property.
- A maximum wattage of 100 watts per fixture is allowed. Multiple lamp fixtures with a maximum of five 100-watt fixtures may be allowed on covered porches at a maximum height of 14 feet.

## **4.10 Snow Design:**

Properties at River Ranch McCall are at an elevation of 5,000 feet, thus snow is a consideration. Architectural designs must provide adequate structural support to carry loads as required by local building codes and appropriate roof pitches to effectively manage snow removal or to retain the snow. Note that care should be taken that snow or ice shedding off the roof does not fall onto entries, walkways, driveways or other occupied areas. Adequate space shall be provided on site for snow removal storage that does not encroach upon setbacks or easements.

# **5. Exterior Materials and Colors**

## **5.1 Overview**

Material and color selections must be submitted to the Design Committee for approval. Refer to Section 6 of these guidelines for submittal requirements.

## **5.2 Exterior Materials**

Exterior wall cladding shall be wood and natural stone, using shingles, vertical or horizontal wood board siding, logs and/or rough-hewn timber. Metal, vinyl, cement board or other composite siding materials are not permitted. Windows preferably should be constructed of wood but may utilize exterior metal cladding in natural colors.

Primary roof materials may consist of architectural grade composition shingles and natural slate tiles. Secondary roof materials may include metals that have developed a natural patina. The use of metal with factory applied low-gloss finishes in brown and gray color ranges will be considered at the discretion of the Design Committee.

## **5.3 Color**

The color guidelines for River Ranch McCall focus on neutral colors reflecting the natural landscape. Color and material choices depend to a large extent upon the siting, surrounding landscape, exposure and the architecture of the home.

Small areas of accent color on doors, windows or light fixtures will be considered. Combinations of color shall be complementary to each other. All wood materials shall be treated with a semi-transparent stain that allows the natural wood grain to show through. Solid-body stain and paints are not allowed. These characteristics should be taken into consideration during the design phase.

## **5.4 Miscellaneous Materials**

In order to minimize the visual impact of protrusions through roofs or exterior walls of necessary mechanical equipment, electrical, gas and other utility boxes, various vents, chimney flues, flashings, etc., attention must be paid in the initial home design to provide screening of such equipment from the street and neighboring home sites. Painting the necessary metal equipment to match the other colors of the exterior is required.

Reflective materials such as polished metals or mill-finished or clear anodized aluminum for decorative purposes will not be approved.

## **6. Design Review**

### **6.1 Overview**

The design review procedure outlined herein has been established by the Design Committee to assist the applicant through the process of designing a site-specific home. All new building, site and landscape improvements and all additions and modifications must receive final approval from the Design Committee prior to starting construction.

All River Ranch McCall homes are to be designed by a licensed architect who has made him/herself thoroughly familiar with the guidelines contained in this manual. Should the owner discontinue the use of the primary architect, a new fully licensed Architect of Record is to be chosen and the Design Committee shall be notified in writing of the change.

The architect is to remain involved during the construction phase to be available for conferences regarding exterior colors and materials, any changes or variances and to complete the record drawings.

### **6.2 Pre-Design Meeting**

Prior to the start of the homesite design, an on-site meeting of the owner, architect and Design Committee shall be conducted to discuss site-specific factors such as the placement of the home in the construction envelope, driveway and utility alignments and existing site features that are to be retained such as significant trees. This meeting also presents an opportunity to discuss the owner's design objectives in the context of the River Ranch Design Guidelines.

The owner shall obtain and bring a copy of a topographic survey prepared by a licensed land surveyor or registered civil engineer to the pre-design meeting. The survey should include all property boundaries and dimensions, setbacks, easements, the construction envelope, utility locations, topography (at two-foot contour intervals), significant site features and existing trees of four-inch dbh and greater.

This meeting will be scheduled within approximately two weeks of the receipt of a request. There is no fee associated with this meeting.

It is advised that the owner obtain geotechnical surveys to determine types of soils, water drainage and any sub-surface conditions that may impact the design and construction of improvements prior to the commencement of the design.

### **6.3 Design Committee Meeting Schedule**

The Design Committee will meet to review design submittals on a monthly basis. Submittals received two weeks prior to the scheduled meeting date will be considered at that meeting. The

Committee will review the submittal and the homesite to determine if the design is in compliance with the intent of the guidelines and if the submittal is complete.

A written response will be sent to the owner and architect within 10 days of the meeting. Should the design not be approved, it will be necessary to provide a revised submittal addressing any items identified by the Design Committee that do not comply with the intent of the guidelines. An additional design review fee may be charged to cover the committee's supplemental review costs as outlined in Section 6.4 below.

#### **6.4 Preliminary Design Submittal**

The preliminary design submittal shall include:

- A completed preliminary design submittal form
- Preliminary design checklist
- One full set of drawings as prepared by the project architect
- A site-specific plan showing an engineer's drawing of the landscape and construction envelopes
- Topographical Survey
- Landscape design
- On-site material mock-ups including exterior elevations, exterior color and materials list, etc.
- Payment of the design review administration fee of \$1000. This fee allows for up to ten hours of review. Any review in excess of ten hours may be charged at cost. Additionally, the Design Committee reserves the right to increase fees in the event it incurs direct costs in excess of the stated fees due to the complexity of the project, or expenses related to resubmittals.

The applicant shall provide with this submittal on-site staking for the proposed design for review by the Design Committee.

#### **6.5 Final Design Submittal**

The final design submittal shall include:

- A completed final design submittal form
- Final design checklist
- One full set of drawings prepared by the project architect
- Site-specific plan, home diagram and landscape plan
- A material and color sample mock-up board, including a colored exterior elevation drawing.

The fee for the processing of this submittal is included in the initial \$1000 preliminary design fee. If changes are desired after the approval of the Final Design, they must be requested in writing, specifically **highlighted** on the drawings and submitted to the Design Committee for review along with a check in the amount of \$200.

#### **6.6 Design Variances**

Please refer to Section 8.1 with regard to variances..

#### **6.7 On-Site Material Mock-Ups**

Prior to the installation of any exterior materials, on-site mock-ups shall be prepared for review by the Design Committee to confirm compliance with the previously submitted material and color board. The mock-ups shall include actual materials and colors for roofing, flashing,

fascias, siding, trim, windows, stone, etc. and shall be a minimum of 4 by 8 feet in size. The materials shall be placed on the mock-up in a similar relationship and in similar proportions to how they will appear on the home.

## **6.8 Final Design Approval**

Upon receipt of the Final Design Approval, construction may begin.

# **7. Ranch House Construction**

## **7.1 General Overview**

Construction rules and regulations are intended to limit, in so far as possible, any destructive activity in and about the construction zone from the beginning of a project to its end. It is the responsibility of the owner and contractor to ensure adherence to and compliance with the approved Final Design. Periodic inspections will be performed by a member of the Design Committee; the owner will be notified of any violations or non-compliance issues observed. No building or site construction may be started until the Final Design has been approved, all required permits obtained, a refundable construction security deposit of \$5,000 paid and the pre-construction conference held as required by Section 7.2.

Fines for construction of unapproved elements of the design may range from \$200 to \$1000 per change, and the owner will be responsible for restoring the construction to the state reflected in the Final Design.

Construction must begin within one year from the date the permission to begin is granted as evidenced by Final Design Approval and be completed within 24 months after start of construction. If work has not begun within one year from the grant date of the Final Design Approval, the permission to begin construction may be revoked and the design submittal must begin again.

If it appears that construction has been abandoned, as exhibited by a suspension of work for a period of more than 90 days without an approved alternative construction schedule being filed, the Design Committee, after notification in writing to the contractor and owner, may continue the construction of the exterior or restore the site to its pre-improvement status. All costs will inure to the owner to be secured by a lien on the homesite. Pouring a foundation prior to winter weather and requesting approval to begin further construction in the spring does not constitute abandonment of the site.

All River Ranch homes are to be constructed by competent and insured contractors and sub-contractors who have made themselves thoroughly familiar with the guidelines contained in this manual. Should an owner discontinue the use of the primary contractor, a new fully licensed and insured Contractor of Record is to be chosen and the Design Committee shall be notified in writing of the change.

For security purposes, each contractor shall provide a list to the Design Committee identifying and describing all employees, sub-contractors and their employees, and company, employee and sub-contractor vehicles. No person or vehicle will be allowed onto River Ranch McCall property without the documents being on file.

## **7.2 Pre-Construction Conference**

Prior to beginning construction, the contractor shall meet with a representative of the River Ranch McCall Design Committee for an orientation to review construction procedures and



regulations. The location of equipment, storage of materials, placement of dumpsters and sanitary structures, construction access and staging areas, and the location of construction and erosion control fencing will be discussed.

### **7.3 Construction Equipment**

The use of heavy equipment imposes certain restrictions. Overnight storage of heavy equipment and vehicles used daily is permitted only within an active construction activity zone. To avoid oil leaking onto a homesite, each piece of heavy equipment found to have an oil leak must be repaired immediately or removed.

### **7.4 Construction Times and Days**

- Monday – Friday 7:00 a.m. to 6:00 p.m.
- Saturdays 8:00 a.m. to 5:00 p.m.

Construction on Saturdays is limited to activities that do not generate excessive noise such as that from heavy equipment motors, power saws, concrete delivery and hammering. Quiet activity such as painting, staining and non-mechanized landscaping may be done outside on Saturdays, and interior work that is not audible outdoors may also be done on Saturdays.

Construction is not permitted on Sundays and holidays or on special community event days. Contractors will be notified in advance of any such events.

### **7.5 Dust and Noise Control**

The contractor is responsible for controlling dust and noise on the construction site. Dirt, mud and other debris on roads resulting from construction activity are to be removed each day, and irrigation to settle dust is always required.

Excessive noise such as that from generators is not permitted so long as there is on-site power available. Gas generators are not permitted unless no other source of power is available. Radios and other audio equipment must be kept at low levels so as not to be heard beyond the homesite.

### **7.6 Safety Issues**

To ensure the safety of all owners, contractors, their employees and visitors who have official business relating to the construction of the home, the regulations contained in the national Occupational Safety and Health Act (OSHA) will be observed at all times.

Though all roads within River Ranch McCall are private, all public vehicular traffic and parking rules and regulations will be strictly observed. Violations of such rules may result in fines and, in the case of construction personnel, the temporary suspension of driving privileges. The maximum speed limit at all times shall be 25 miles per hour.

Parking or driving on or otherwise using undeveloped portions of homesites or open space is prohibited.

Additionally, the following activities are absolutely prohibited:

- Alcohol or drug use by any personnel working on the homesite
- Careless disposal of cigarettes
- Inappropriate disposal of flammable materials
- The build-up of potentially flammable materials

- On-site fires other than those required for specific construction activities
- Possession or discharge of any type of firearm
- On-site possession of pets by anyone other than the property owner.

## **7.7 Record Drawings and Final Approval**

Upon completion of a residence, the contractor shall give written Notice of Completion to the River Ranch McCall Design Committee along with a set of record drawings. If all improvements of the site comply with the Final Design and with any approved changes, a written confirmation will be issued to the owner within 10 working days of receipt of the Notification of Completion. The Final Approval and the balance of the construction deposit will be issued within 30 days of the final inspection.

Your home is complete.

## **8. General Guidelines and Policies**

### **8.1 Variances**

If a requirement set forth in these Design Guidelines cannot be met, a variance may be requested. Variances require that a hardship is demonstrated, or that benefit to the community as a whole is the outcome of the variance, or that the variance is consistent with the spirit and character of the Design Guidelines in the sole discretion of the DRC. Mitigation may need to be proposed and permission from adjacent property owners may be required, in the discretion of the Design Committee, which can sometimes slow the approval process. The Design Committee shall have the option, but not the obligation, to notify other property owners of the variance request.

Variance requests must be submitted with the standard submittals along with any necessary materials to clearly communicate the request. The regulation or requirement from which the variance is being requested must be identified, and the extent and parameters of the variance must be clearly defined. An additional fee of \$500 may be charged for each variance request, which fee may be increased if consulting or other costs to the Design Committee in review of the request exceed this amount.

No shareholder, representative, or employee of River Ranch McCall, Idaho shall be liable to any owner or other person for any claims, causes of actions, or damages arising out of the granting or denial of any variance request by owners or their other agents. Each request for a variance submitted hereunder shall be reviewed separately and apart from each other such request and the grant of a variance to any owner shall not constitute a waiver of the River Ranch McCall, Idaho Design Committee's right to strictly enforce the requirements of these Design Guidelines against any other owner. Any grant of variance by the Design Committee must be in writing and must identify in narrative detail both the standard from which a variance is being sought and the specific variance being granted. No variance shall be valid and approved unless memorialized in writing by the Design Committee.

### **8.2 Liability**

Neither the River Ranch McCall, Idaho Design Committee, its agents and employees, any member thereof, employee thereof, nor the Declarant, nor the Board of Directors for the Ranch Association shall be liable to the Ranch Association, any owner, any contractor, or other person for any loss or damage claimed on account of any of the following if the party acted in good faith:

- The approval or disapproval of any plans, drawings and specifications whether or not defective or in compliance.
- The construction or performance of any work, whether or not pursuant to approved plans, drawings and specifications and whether or not defective.
- The development, or manner of development, of any homesite within River Ranch McCall, Idaho.
- Processing and enforcement of the Ranch Documents (as that term is defined in the CC&Rs), including these Design Guidelines.

Approval of any proposed or existing improvement by the Design Committee shall not be construed to warrant or represent that the improvement was approved by or complies with the appropriate standards of any public agency that may have jurisdiction over such improvement. Similarly, approval of any proposed or existing improvement by any public agency having jurisdiction over the improvement shall not constitute approval by the Design Committee.

The Design Committee shall not be responsible for reviewing and/or approving any plans and specifications for engineering design, structural engineering and safety, or for compliance with applicable zoning, building or other city, county, state or federal laws, ordinances or policies.

### **8.3 Appeal of Design Committee Decision**

- (1) Appeal of Denial of Application by the Design Committee. If the Design Committee denies any application in whole or in part, the applicant may appeal to the Ranch Association Board of Directors, as provided at Article 8 of the CC&Rs.
- (2) Review of Board Decision. The Board's decision shall be upheld unless it is found by clear and convincing evidence the decision to be: (i) in express violation of the Ranch Documents; (ii) in express violation of an applicable federal, state, county, city or district statute, ordinance or regulation; or, (iii) arbitrary, capricious, unreasonable and oppressive.

Every owner shall be subject to the dispute resolution process provided at Article 15 of the CC&Rs in the event of failure to resolve issues upon appeal to the Board.

### **8.4 Non-Waiver**

The approval by the River Ranch McCall, Idaho Design Committee of any plans, drawings, or specifications for any work done or proposed shall not be deemed to constitute a waiver of any right to withhold approval of any similar plan, drawing or specification subsequently or additionally submitted for approval. Failure to enforce any provision of these Design Guidelines shall not constitute a waiver of the same.

Moreover, approval granted to a project does not constitute approval of each element within that project. If an element that does not comply with the guidelines is discovered in a future submittal, or during construction of the same project, modification of the non-compliant element will be required, unless a variance is granted ex post facto. Neither the Design Committee, nor the Ranch Association Board, nor any employee or member thereof may be held liable for any costs or inconveniences incurred to remedy such a situation.

The architect, contractor and owner shall assume responsibility for compliance with all of the Design Guidelines and the CC&Rs.

## **8.5 Severability**

If any provision of these guidelines, or any section, clause, sentence, phrase or word, or the application thereof in any circumstance, is held invalid, the validity of the remainder of these improvement guidelines, and of the application of any such provision, section, sentence, clause, phrase or work in any other circumstances, shall not be affected thereby, and the remainder of these improvement guidelines shall be construed as if such invalid part were never included therein.

## **8.6 Committee Organization**

As provided at Article 8 of the CC&Rs, the Design Committee shall consist of three to five members appointed by the Ranch Association Board. The members need not be Owners. The regular term of office for each member shall be one year, coinciding with the fiscal year of the Ranch Association or such other annual time period as the Board may determine. Any such member may be removed with or without cause by the Board at any time by written notice to such appointee. A successor or successors appointed to fill such vacancy shall serve the remainder of the term of the former member.

The Design Committee may appoint a Design Review Administrator to assist the Committee in the performance of its duties. The Administrator shall have the authority to act on behalf of the River Ranch McCall, Idaho Design Committee; however, except for minor matters, actions requiring approval or disapproval of designs and non-routine procedures must be presented to the Committee. In matters of design and enforcement, the Design Review Administrator and staff are authorized to act on behalf of the Design Committee except as otherwise limited by the Committee.

## **8.7 Duties**

It shall be the duty of the River Ranch McCall, Idaho Design Committee to consider and act upon such proposals or plans related to the development of River Ranch McCall, Idaho that are developed pursuant to the Design Guidelines and to amend these Design Guidelines, when and in a manner deemed appropriate by the River Ranch McCall, Idaho Design Committee and ratified by the Board of Directors. The Committee shall have enforcement and other powers as authorized by the Ranch Association Board of Directors and the Ranch Documents.

## **8.8 Amendments to the Ranch Design Guidelines**

As provided at Article 8 of the CC&Rs, the Design Guidelines may be amended as follows: the Design Committee may propose amendments to the Board, or the Board may adopt amendments of their own volition; and, until such time as the Declarant is no longer a member of any Class of the River Ranch McCall Owners Association, the amendment must be approved in writing by the Declarant.

Any amendments to the Design Guidelines shall apply to construction and modification of structures and improvements commenced after the date of such amendment only and shall not apply to require modifications to or removal of structures previously approved once the approved construction or modification has commenced; provided, the construction or modification has proceeded in accordance with the plans and specifications therefore, as approved.

The Design Committee shall make the Design Guidelines available to owners and builders who seek to engage in development or construction within River Ranch McCall, and all such persons shall conduct their activities in accordance with such Design Guidelines. THE BURDEN SHALL BE ON THE OWNER AND THE BUILDER TO ENSURE THAT THEY HAVE THE MOST CURRENT DESIGN GUIDELINES.

## **8.9 Applicability**

This version of the River Ranch McCall, Idaho Design Guidelines is applicable to the design of all projects submitted for Preliminary Design review on and after April 1, 2005. The described construction regulations and procedures are applicable on and after April 1, 2005 to all homesites in the construction phase. Subsequent changes, additions and modifications to existing designs or homes with Final Release submitted on and after April 1, 2005 are also subject to this version of the Design Guidelines.

Variance Requests will be assessed and reviewed based on the edition of the Design Guidelines that was applicable when the homesite Preliminary Design was submitted. All regulations in these Design Guidelines shall be binding until such time as a subsequent edition is instituted and released.

## **8.10 River Ranch CC&Rs**

The complete and recorded CC&Rs, and any applicable Supplemental CC&Rs have been recorded with the Valley County, Idaho Recorder. They should be read together with these Design Guidelines and will be distributed under separate cover.

## APPENDIX No. 1

**RIVER RANCH McCALL, IDAHO**  
**Suggested List of**  
**NATIVE TREES AND SHRUBS**  
**SHRUBS**

<u>Common Name</u>	<u>Scientific Name</u>	<u>Page in Sunset Western Garden Book</u>
Apache Plume	Fallugia	347
Artemesia		201
Bitterbrush	Purshia tridentate	--
Blue Elderberry	Sambucus caerulea	597
Dogwood - Redtwig	Cornus stolonifera	293
Golden Currant	Ribes aureum	577
Juniper - Rocky Mountain	Juniper scopulorum	412
Mountain Big Sagebrush	Artemesia tridentata vaseyans	202
Ninebark	Physocarpus	520
Ocean Spray	Holodiscus discolor	390
Rabbit Brush	Chrysothamnus	274
Salmonberry	Rubus Spectabilis	--
Saskaton Serviceberry	Amelanchier alnifolia	183
Silver Buffaloberry	Sheperdia argentea	609
Spirea - Rock Spirea	Holodiscus Dumosus	390
Sumac - Oakbrush Sumac	Rhus trilobata	576
Sumac - Smooth Sumac	Rhus glabra	576
Syringa (Mock Orange)	Philadelphus	516
Thimbleberry	Rubus Parriflora	--
Woods Rose	Rosa woodsii	--

**TREES**

Alder - Mountain Alder	Alnus tnuifolia	180
Alder - Sitka Alder	Alnus sinuava	--
Aspen - Quaking Aspen	Populus tremuloides	543
Birch	Betula	223
Common Hackberry	Celtis occidentalis	260
Cottonwood - Black	Populus balsamifera	543
Fir - Douglas Fir	Pseudotsuga	554
Hawthorne	Crataegus	298
Larch - Western - Tamarack	Larix occidentalis	423
Maple - Rocky Mountain	Acer glabrum	168
Mountain Mahogany	Cercocarpus ledifolius	263
Pine - Lodgepole Pine	Pinus contorta	525
Pine - Ponderosa Pine	Pinus ponderosa	528
Pine - Jeffrey Pine	Pinus jeffreyi	526
Pine - Limber Pine	Pinus flexilis	526
Poplar	Populus	543
Spruce - Engelmann Spruce	Picea engelmannii	521

**MISCELLANEOUS**

Ash - Mountain Ash	Sorbus	614
Bunchberry (Ground Cover)	Cornus Canadensis	292
Cayote/Sandbar Willow	Salix exiqua	--
Common Chokecherry	Prunus	553
Oregon Grape	Mahdnia	--

**APPENDIX No. 2**

**RIVER RANCH McCALL, IDAHO  
NATIVE GRASS AND PLANT SEEDS**

Companies Recommended  
by  
The University of Idaho

Granite Seed Company  
1697 West 2100 North  
Lehigh, UT 84043  
Phone: (801) 768-4422  
Fax: (801) 768-3967  
Website: [www.rainierseeds.com](http://www.rainierseeds.com)  
Email: [info@graniteseed.com](mailto:info@graniteseed.com)

Rainier Seeds, Inc.  
5401 Eltopia Road West  
Eltopia, WA 99330  
Phone: (509) 297-4545  
Toll Free: (800) 828-8873  
Fax: (509) 297-4547  
Website: [www.rainierseeds.com](http://www.rainierseeds.com)  
Email: [rsisouth1@eltopia.com](mailto:rsisouth1@eltopia.com)

Western Native Seed  
P. O. Box 188  
Coaldale, CO 81222  
Phone: (719) 942-3935  
Fax: (719) 942-3605  
Website: [www.westernnativeseed.com](http://www.westernnativeseed.com)  
Email: [info@westernnativeseed.com](mailto:info@westernnativeseed.com)

For Further Information, Contact:

University of Idaho  
College of Natural Resources  
Moscow, ID 83844-1137  
<http://seedlings.uidaho.com>

UI Seedlings  
P. O. Box 441137  
Moscow, ID 83844-1137  
Phone: (208) 885-3888  
Fax: (208) 885-6226  
Email: [seedlings@uidaho.edu](mailto:seedlings@uidaho.edu)